

# NEW SINGLE FAMILY RESIDENC 445 VIRGINIA AVENUE, SAN MATEO, CA 94402-2235

### OWNER: JOSH SMITH AND LAEL CULINER 445 VIRGINIA AVENUE SAN MATEO, CA 415.516.5153 joshsmith218@gmail.com ARCHITECT: SHERRY SCOTT ARCHITECT, INC. 1784 REVERE AVENUE SAN FRANCISCO, CA 94124 415.336.2767 sherry@sls-architect.com LANDSCAPE ARCHITECT: MICHAEL CALLAN LANDSCAPE ARCHITECT 63 BOVET ROAD #314

**PROJECT DIRECTORY:** 

SAN MATEO, CA 94402 650.372.9220 mike@michaelcallan.com

### STRUCTURAL ENGINEER: DIARMUID MACNEILL DOLMEN ENGINEERS 2595 MISSION ST, STE 200 SAN FRANCISCO, CA 94110

415.409.9200 diarmuid@dolmen-engineers.net CIVIL ENGINEER:

- CLIFFORD BECHTEL BECHTEL AND ASSOCIATES 1321 254TH PLACE, SE SAMMAMISH, WA 98075 650.333.0103 cliffbechtel1@comcast.net
- **GEOTECH ENGINEER:** ROCKRIDGE GEOTECHNICAL 270 GRAND AVENUE OAKLAND, CA 94610 CRAIG SHEILDS 510.420.5738 csshields@rockridgegeo.com

### DRAWING LIST:

A0.1 COVER SHEET A0.2 RENDERED VIEWS

- A0.3 NEIGHBORHOOD CONTEXT MAP
- A0.4 NEIGHBORHOOD CONTEXT PHOTOS

A0.5 NEIGHBORHOOD CONTEXT PHOTOS

- A0.6 NEIGHBORHOOD CONTEXT PHOTOS
- A0.7 NEIGHBORHOOD CONTEXT PHOTOS
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- A0.10 NEIGHBORHOOD CONTEXT PHOTOS

### S-1 SURVEY

- L1.0 LANDSCAPE PLAN
- L1.5 LANDSCAPE DETAIL SHEET
- L2.0 IRRIGATION PLAN / WELO CALCULATIONS
- L2.5 IRRIGATION DETAIL SHEET
- L3.0 OUTDOOR LIGHTING PLAN
- L6.0 TREE PROTECTION / ARBORIST REPORT
- C-1.0 GRADING AND DRAINAGE PLAN C-1.1 UTILITY PLAN

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- A1.1 ARCHITECTURAL SITE PLAN
- A1.2 WINDOW ADJACENCY DIAGRAMS
- A2.0 EXISTING PLANS (FOR DEMOLITION)
- A2.1 GROUND AND UPPER FLOOR PLANS
- A2.2 BASEMENT AND ROOF PLANS
- A2.3 AREA CALCULATIONS (PLANS)
- A3.0 EXISTING ELEVATIONS (FOR DEMOLITION)

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- A3.1 ELEVATIONS
- A3.2 ELEVATIONS
- A3.3 BUILDING SECTIONS
- A3.4 BUILDING SECTIONS
- A3.5 BUILDING SECTIONS
- A3.6 COLOR ELEVATIONS
- A3.7 NEIGHBORHOOD CONTEXT
- A3.8 MATERIALS BOARD

### PROJECT DESCRIPTION:

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THIS PROJECT PROPOSES A NEW, SINGLE-FAMILY RESIDENCE AT 445 VIRGINIA AVENUE IN SAN MATEO. THE EXISTING 2,164 SF HOME WILL BE DEMOLISHED AND REPLACED WITH A NEW 3.929 SF HOME INCLUDING AN ATTACHED ADU. THE NEW RESIDENCE IS DESIGNED TO COMPLY WITH THE SAN MATEO ZONING CODE INCLUDING HEIGHT LIMITS, DAYLIGHT PLANE RESTRICTIONS, FLOOR AREA RATIO AND PARKING. OFF STREET PARKING FOR 3 INDEPENDENTLY ACCESSIBLE VEHICLES IS PROVIDED IN GARAGE. THE NEW, TWO STORY RESIDENCE WILL INCLUDE 4 BEDROOMS, AN OFFICE, 5 BATHROOMS, LIVING, DINING, AND KITCHEN ROOMS. NEW LANDSCAPE INCLUDES NEW PLANTING, REAR YARD PATIO INCLUDING OUTDOOR KITCHEN, NEW FRONT STEPS AND PLANTERS.

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### PROJECT

APN: ZONING C LOT AREA: FLOOR AR MAX. ALLO

FLOOR AF BASEMEN BASEMEN TOTAL BA

FIRST FLO SECOND COVERED DETACHE ADU FRONT P TOTAL FLOOR AREA:

5

12	
φ.	

SHERRY L SCOTT A R C H I T E C T 1784 Revere Ave. 1 SF, CA 94124 1 415.336.2767 1 sls-architect.com
SHERRY SCOTT CLASS SHERRY SCOTT C28989 <u>11/2023</u> SHERRY Date CALLEORNIC
445 VIRGINIA AVENUE SAN MATEO, CALIFORNIA
01 08.01.22 PLANNING
COVER SHEET

ADDRESS:	445 VIRGINIA AVENUE SAN MATEO CA, 94402-2235
	034-072-060
LASSIFICATION:	R1-B (RESIDENTIAL)
λ:	8,605 SF
REA RATIO:	.5 FOR 6,000 SF, THEN .2 FOR ADDITIONAL
OWBLE FLOOR AREA:	3,521 SF, NOT INCLUDING ADU

REAS:	EXISTING	PROPOSED		
NT GARAGE	417.0	591.0		
NT FLOOR OTHER	118.3	436.6		
ASEMENT	535.3 SF	1,027.6 SF		
OOR	2,164.3	1,690.1		
FLOOR	0	1.830.4	=3,520.5 SF MAIN HOUSE	
D PATIOS	24.5	0		
ED STRUCTURE	0	0		
	0	408.1		
ORCH ALLOWANCE	(24.5)	(30.5)		
OOR AREA:	2,164.3 SF	3,928.6 SF		

FLOOR AREA FOR PARKING DETERMINATION: 3,520.5 SF

TOTAL GARAGE PARKING SPACES PROVIDED: 3 (3 REQUIRED)

EXISTING STRUCTURE TO BE DEMOLISHED: 100%

CUBIC YARD OF SOIL DISTURBANCE: APPROX. 515 CU/YARDS

> A0.1 C U R R E N T I S S U E 08.01.2022

2





A0.2 C U R R E N T I S S U E 08.01.2022





558 EDINBURGH - MODERN MEDITERRANEAN STYLE, 2 STORIES



540 FORDHAM - TUDOR STYLE. 2 STORY OVER GARAGE



321 GEORGETOWN - SPANISH STYLE, 2 STORIES OVER GARAGE



652 FORDHAM - COLONIAL STYLE, 2 STORIES



A0.4 C U R R E N T I S S U E 08.01.2022



475 VIRGINIA - MODERN SPANISH STYLE, 2 STORIES



335 VIRGINIA - COLONIAL STYLE, 2 STORIES UPHILL



480 VIRGINIA - TUDOR STYLE, 2 STORIES



442 NEVADA - TUDOR STYLE, 2 STORIES WITH STEEP UPHILL



08.01.2022



348 GEORGETOWN - MIDCENTURY, 2 STORIES OVER GARAGE



459 PARROTT - MODERN SPANISH STYLE, 2 STORIES OVER GARAGE W/ STEEP UPHILL



451 VIRGINIA - MIDCENTURY, 2 STORIES OVER GARAGE



373 PARROTT - COLONIAL STYLE, 3 STORIES WITH DORMERS

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445 VIRGINIA AVENUE SAN MATEO, CALIFORNIA
01 08.01.22 PLANNING

A0.6 C U R R E N T I S S U E 08.01.2022



634 FORDHAM - MODERN REMODEL AND ADDITION. 2 STORIES OVER GARAGE



478 PARROTT - COLONIAL STYLE, 2 STORIES



366 VIRGINIA - SPANISH STYLE, 2 STORIES



350 GEORGETOWN - SPANISH STYLE, 2 STORIES OVER GARAGE WITH STEEP UPHILL

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	SHERRY SCOTT SHERRY SCOTT C28989 <u>11/2023</u> Renewal Date F CALLFORM
	445 VIRGINIA AVENUE SAN MATEO, CALIFORNIA
_0	SSUE HISTORY          1       08.01.22       PLANNING
-	NEIGHBORHOOD CONTEXT PHOTOS

A0.7 C U R R E N T I S S U E 08.01.2022

![](_page_7_Picture_0.jpeg)

251 PARROTT - COLONIAL STYLE, 2 STORIES

![](_page_7_Picture_2.jpeg)

311 PARROTT - TUDOR STYLE, 2+ STORIES

![](_page_7_Picture_4.jpeg)

544 VIRGINIA - MODERN MIDCENTURY STYLE, 2 STORIES

![](_page_7_Picture_7.jpeg)

532 VIRGINIA - TUDOR STYLE, 2 STORIES

![](_page_7_Picture_11.jpeg)

![](_page_8_Picture_0.jpeg)

327 GEORGETOWN - SPANISH STYLE, 2 STORIES

![](_page_8_Picture_2.jpeg)

365 GEORGETOWN - SPANISH STYLE, 2 STORIES

![](_page_8_Picture_6.jpeg)

362 GEORGETOWN - NEOCLASSICAL STYLE, 2+ STORIES TOP OF HILL

![](_page_8_Picture_9.jpeg)

531 HARVARD - SPANISH COLONIAL STYLE, 2 STORIES

![](_page_8_Picture_11.jpeg)

A0.9 C U R R E N T I S S U E 08.01.2022

![](_page_9_Picture_0.jpeg)

618 HARVARD - COLONIAL STYLE, 2 STORIES

![](_page_9_Picture_2.jpeg)

500 JACKSON - TUDOR STYLE, 2+ STORIES

![](_page_9_Picture_4.jpeg)

320 JACKSON - SPANISH STYLE, 2 STORIES OVER GARAGE

![](_page_9_Picture_8.jpeg)

541 NEVADA - MODERN MEDITERRANEAN STYLE, 2 STORIES

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SHERRY SCOTT C28989 11/2023 CA Renewal Date Fr. FCALLFORM
445 VIRGINIA AVENUE SAN MATEO, CALIFORNIA
01 08.01.22 PLANNING
NEIGHBORHOOD CONTEXT PHOTOS

A0.10 C U R R E N T I S S U E 08.01.2022

![](_page_10_Figure_0.jpeg)

![](_page_10_Picture_1.jpeg)

![](_page_10_Figure_2.jpeg)

### NOTES

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- 1). This Topographic Survey Map was prepared from a ground surveys done by Jeffrey M. Barnea, PLS in May, 2011, March, 2020, and November, 2020.
- 2). Spot elevations and contours shown from an assumed benchmark established upon the lid of an existing Storm Drain Manhole in Virginia Ave., Elev. = 100.00 (see benchmark note above, at left). This manhole lid was also used for a benchmark per an earlier Topographic Survey Map for 429 Virginia Ave. dated April, 2007.
- 3). Unless noted otherwise, trees shown were located at the ground and trunk diameters measured at 4.5' above ground. Driplines were not measured at time of survey, and are depicted graphically in their approximate positions only. The existing house and garage were measured at the outside trim or stucco facing. Perpendicular or Radial (R) the measurements (Meas.) are shown to the outside stucco facing or trim of the existing house, not to foundation lines.
- 4). Boundaries and the 7' wide P.U.E. are shown hereon directly from the "Baywood" subdivision map filed in 16 Maps 3 6, San Mateo County Records. This is not a record of survey boundary map. There may be other easements affecting this property not depicted upon this drawing. The area of Lot 13, Block 17 as calculated directly from the "Baywood" map is 8,605 s.f. +/-.
- 5). The final product delivered to owners Josh Smith and Lael Culiner were signed bond prints. An electronic CAD version of this Map may be provided to the owners or their associates upon request. Any changes, revisions or additions made to this Map without the consent and approval of Jeffrey M. Barnea, PLS, is not the responsibility of Jeffrey M. Barnea, as the owners have agreed to in writing.

Jeffrey M. Barrea 11 - 10 - 20 Jeffrey M. Barnea, L.S. 7044 Date License expires 12-31-20

SCALE: 1" = 8'

![](_page_10_Picture_10.jpeg)

NOVEMBER, 2020

Topographic Survey Map Lands of Smith & Culiner 445 Virginia Ave. APN: 034-072-060 San Mateo San Mateo County California JEFFREY M. BARNEA, L.S. 7044 789 14TH AVE. MENLO PARK, CA 94025 PH/FAX (650) 261-1982

11-116

Rev. 5/4/20: Add measurements along north (*N*) and south (*S*) lines at 12" increments. Rev. 11/10/20: Add neighboring windows and heights, add SSMHs and Fire Hydrants.

![](_page_11_Figure_0.jpeg)

		GENERAL NOTES: 1. CONTRACTOR TO VERIFY ALL CO PLANS. 2. TOPOGRAPHIC INFORMATION PRO	ONTROLLING DIMENSIONS	& SETBACKS WITH ARCHITECT	URAL	CLIFFORI AND ASS	BECHTEL OCIATES, INC.
	32	<ol> <li>10, 2020.</li> <li>3. SLOPE PORCHES, LANDINGS AN</li> <li>4. PROVIDE POSITIVE SURFACE DR FINISHED GROUND SURFACE AT LEAS</li> <li>5. CONTRACTOR TO CONTACT SOURCE</li> </ol>	ID TERRACES 2% AWAY RAINAGE AWAY FROM TH T 5% AWAY FROM RESID LS ENGINFER TO COORDI	FROM RESIDENCE. E HOUSE PERIMETER BY SLOPI ENCE. NATE INSPECTIONS AT LEAST	NG THE ONE WFFK	Engineering and Proj 1321 254th Place SAMMAMISH, WA 650–333–0103 cliffbechtel1 <b>@</b> come	ect Management , SE 98075 cast.net
		<ul> <li>FINISHED GROUND SURFACE AT LEAS</li> <li>5. CONTRACTOR TO CONTACT SOIL PRIOR TO PENDING INSPECTIONS.</li> <li>6. ALL GRADING AND TRENCH BAY RECOMMENDATIONS. ALL FOUNDATION ENGINEER'S RECOMMENDATIONS AND ENGINEER.</li> <li>7. IT IS RECOMMENDED THAT AN THE COMPLETION OF CONSTRUCTION.</li> <li>8. THE OWNER RECOGNIZES THAT CLEANED OF DEBRIS DURING THE FUI 9. CONTRACTOR SHALL VISIT THE CONDITIONS. THEY SHALL BRING ANY PROCEEDING. VERIFY THE LOCATIONS CONSTRUCTION.</li> <li>10. ANY SITE WORK THAT DEVIATE: ENGINEER'S APPROVAL PRIOR TO PROCE 11. CONTRACTOR SHALL CALL "UNIT TO EXCAVATION.</li> <li>12. FOR ADDITIONAL SITE LAYOUT</li> <li>13. PRIOR TO CONSTRUCTING ANY UTILITY EASEMENT (PUE) AND FOR U DRAINS AND LANDSCAPING, CONTRAC OF SAN MATEO.</li> </ul>	T 5% AWAY FROM RESID LS ENGINEER TO COORDI CKFILL TO BE PERFORME N DRAINS SUBDRAINS TO ALL INSTALLATIONS TO H AS-BUILT PLAN FOR TH THE DRAINAGE FACILITIE NETIONAL LIFE OF THE S SITE AND FAMILIARIZE DISCREPANCIES TO THE OF ALL UNDERGROUND S FROM WHAT IS SHOWN DCEEDING WITH THE DEV DERGROUND SERVICE AL INFORMATION SEE ARCHI IMPROVEMENTS WITHIN T NDERGROUND UTILITIES, DTOR SHALL OBTAIN AN	ENCE. NATE INSPECTIONS AT LEAST D PER THE GEOTECHNICAL EN D BE INSTALLED PER GEOTECH BE INSPECTED BY GEOTECHNIC E DRAINAGE SYSTEM BE PREP SWILL NEED TO BE PERIODIC SYSTEM. THEMSELVES WITH ALL EXISTIN ATTENTION OF THE ENGINEER UTILITIES BEFORE STARTING I ON THE PLANS SHALL HAVE ATING WORK ITEM. ERT" (800) 642–2444, 48 HO TECTURAL AND LANDSCAPE P THE PUBLIC RIGHT OF WAY OR DRIVEWAY APRONS, SIDEWALKS ENCROACHMENT PERMIT FROM	ONE WEEK GINEERS NICAL AL ARED AT ALLY GPRIOR TO THE URS PRIOR LANS. PUBLIC S, CURB THE CITY	cliffbechtel1@com	California California
W 127.0 W 127.0 W 127.0 W 124.5 W 124.5 W 121.5 W 117.8 H121.5 W 117.9	27	<ol> <li>CONTRACTOR SHALL ADHERE T CONSTRUCTION. CONTRACTOR SHALL HAZARDOUS MATERIALS, IN ACCORDA BMP'S CHECKLIST PLAN SHEET.</li> <li>CONTRACTOR SHALL REVIEW AN IN THE GEOTECHNICAL REPORT PRIOR</li> <li>CONTRACTOR SHALL ADHERE TO</li> <li>ANY DAMAGE RIGHT OF WAY IN AND/OR PARKING STRIP SHALL BE R OR HIS DESIGNEE.</li> <li>CONTRACTOR/PERMITEE SHALL PERMIT.</li> <li>ALL GRADING FOR WHICH THE SUPERVISED, DURING THE PLACEMENT SUCH GRADING WORK, UPON COMPLE TO FINAL SIGN-OFF.</li> <li>CIVIL ENGINEER AND SOILS EN WITHIN SUCH ENGINEER'S AREA OF T COURSE OF FULFILLING THEIR RESPEC BEING DONE IN CONFORMANCE WITH THE DISCREPANCIES SHALL BE REPOR ENGINEERING DEPARTMENT. FINAL IN LETTERS FOR THE CIVIL ENGINEER AN 21. CONTRACTOR SHALL TAKE EX REQUIRED BY THE LANDSCAPE PLAN. PROJECT ARBORIST DIRECTIONS, AND COMMENCEMENT OF GRADING ACTIVITI 22. ALL POOLS (INCLUDING SWIMM EXISTING SEWER SYSTEM. ALL WATE BEING DISCHARGED TO THE MUNICIPA HOT TUBE, OR FOUNTAINS TO THE S 23. GRADING SHALL OCCUR ONLLY APPROVED IN WRITING BY THE CITY F SEDIMENT CONTROL PLAN. GRADING HOURS OF 8:00 AM TO 5:00 PM, MC ACTIVITIES SHALL ADHERE TO THE CI 24. FAILURE TO COMPLY WITH ANY OTHER PENALTY.</li> </ol>	O "BEST MANAGEMENT F BE RESPONSIBLE FOR INCE WITH ALL STATE AN ND UNDERSTAND GRADIN TO STARTING ANY SITE O CAL OSHA STANDARD VERASTRUCTURES AND O EMOVED AND REPLACED SCHEDULE INSPECTIONS CITY OF SAN MATEO H T AND COMPACTION PER TION OF THE WORK, IN NGINEER OF RECORD SH/ ECHNICAL SPECIALTY PE CTIVE DUTIES, THE ENGIN HMC, UBC OR THE APPF RTED IMMEDIATELY, IN W ISPECTION SHALL NOT B ND SOILS ENGINEER HAV TREME CARE AND PROTE PROTECTION SHALL BI SHALL BE INSPECTED E IES. (ING, SPAS, HOT TUBS, R FROM THESE SYSTEMS IS STORM DRAIN SYSTEM IS BETWEEN MAY 1ST AND ENGINEER IN CONJUNCTION OPERATIONS SHALL BE DNDAY THROUGH FRIDAY TY'S NOISE ORDINANCE. " PERMIT CONDITION MAY	PRACTICES" (BMP's) GUIDELINE STORING, USING, AND DISPOSIN ND LOCAL LAWS. SEE CONSTR G AND DRAINAGE GUIDELINES WORK. WHEN GRADING AND EXCAVATI THERWISE DISPLACED CURB, G AS DIRECTED BY THE CITY E WITH THE CITY AS REQUIRED AS REQUIRED A SOILS REPORTO OD, THE SOILS ENGINEER SHA WRITING AND PROVIDED TO CIT ALL PROVIDE PROFESSIONAL IN R SECTION 3317 OF UBC. IN IEERS FIND THAT THE WORK IS ROVED GRADING AND DRAINAGI RITING, TO THE PERMITTED AN E SCHEDULE UNTIL THE CERTIN E BEEN RECEIVED BY THE CITY CT ALL EXISTING TREES TO R E INSTALLED IN ACCORDANCE BY THE ARBORIST PRIOR TO TH AND FOUNTAINS) SHALL DRAIN SHALL BE DECHLORINATED P TEM. ANY DISCHARE OF POOL PROHIBITED. SEPTEMBER 30TH, UNLESS O IN WITH AN APPROVED EROSIG ACCOMPLISHED ONLY BETWEEN NORMALLY SCHEDULED CON	S DURING NG OF ALL RUCTION SET FORTH NG. SUTTER NGINEER BY T SHALL BE LL CERTIFY Y PRIOR SPECTIONS THE S NOT E PLANS, D TO THE FICATION Y. EMAIN, AS WITH THE HE TO RIOR TO -, SPA, THERWISE DN AND N THE STRUCTION DRDER OF	SMITH RESIDENCE 445 VIRGINIA AVENUE	SAN MATEO COUNTY
N 121:0 20.5 7.0 24.5		25. ALL STORM DRAIN INLETS AND DUMPING! FLOWS TO BAY", AS REQUI 26. ALL SITE STAIRS SHALL HAVE A 10-INCHES AND MAXIMUM RISE OF 7 HANDRAILS ARE REQUIRED FOR 4 OR 27. ALL EXISTING AND PROPOSED IN 10-FOOT SIGHT TRIANGLE, WHERE TH WALKWAY OR DRIVEWAY (MUNICIPAL MEET WITH PUBLIC WORKS ENGINEER, FOR COMPLIANCE.	MINIMUM WIDTH OF 3-F .75-INCHES. MORE STEPS. MPROVEMENTS SHALL NO E RESIDENTIAL DRIVEWA CODE 27.84.010 (b) (1& PRIOR TO PERFORMING	T EXCEED 3-FEET IN HEIGHT Y FIRST CONFORMS TO THE PI 2). OWNER & CONTRACTOR S WORK, TO CONFIRM REMOVAL	WITHIN THE JBLIC SHALL LIMITS		San Mateo
APN: 034-072 <sup>6</sup>	28	EARTHWORK TABLE HOUSE	CUT 200 CY	FILL 0 CY		CONTENTS: GRADI DRAIN PLA	NG & AGE N
		DRIVEWAY REAR/FRONT/SIDE YARD TOTAL EXPORT EXCESS MATERIAL SHALL BE MANNER. EARTHWORK QUAN PURPOSES ONLY. CONTRACTOR SHALL ESTIMAT CONTRACT WITH OWNER.	35 CY 280 CY 515 CY 500 CY REMOVED FROM SITE AN TITLES HAVE BEEN PROV E HIS/HER OWN QUANTI	0 CY 15 CY 15 CY 15 CY ND DISPOSED OF IN A LEGAL IDED FOR PLANNING THES TO COMPLETE JOB PER		DATE 06/2 SCALE AS REVISIONS:	23/22 NOTED

drawn J.G.

CHECKED C.B.

SHEET NO.

JOB No. 2021754

C-1.0

OF 2 SHEETS

APN: 034-072-220 29

![](_page_12_Figure_0.jpeg)

### UTILITY NOTES:

CONNECTION TO MAIN.

1. CONTRACTOR TO ASSIST OWNER IN COORDINATION WITH PG&E FOR THE INSTALLATION/RELOCATION OF GAS, ELECTRIC, PHONE AND TV SERVICES. SIZE OF NEW SERVICE TO BE DETERMINED BY PG&E. ALL UTILITY SERVICES SHALL BE PLACED UNDERGROUND. 2. CONTRACTOR SHALL LOCATE AND CONDUCT VIDEO INSPECTION ON THE ENTIRE SECTION OF THE EXISTING SEWER SERVICE FROM HOUSE TO SEWER MAIN. CONTRACTOR SHALL PERFORM ANY NECESSARY REPAIRS AND/OR CLEANING WITHIN THE EXISTING SEWER SERVICE, LATERAL AND AT

3. ALL SEWER WORK TO BE IN CONFORMANCE WITH THE CITY OF SAN MATEO STANDARDS.

4. ALL STORM DRAIN PIPE SHALL BE PVC SDR 35, SLOPED AT 1% UNLESS OTHERWISE SPECIFIED ON THE PLANS. PIPE SHALL BE SIZED AS SPECIFIED ON THE PLANS. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION, ELBOWS AND TEE'S SHOULD BE AVOIDED.

5. ALL DOWN SPOUTS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM, AS SHOWN ON PLAN. ALL PIPE SHALL BE 4" PVC SDR 35 PIPE OR EQUIVALENT. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.

6. PATIO DRAINS (PD) SHALL BE 8" MINIMUM IN DIAMETER OR WIDTH. STYLE PER LANDSCAPE ARCHITECTS DIRECTION. AREA DRAINS (AD) SHALL BE 12" NDS (OR EQUIVALENT). DRAIN INLETS (D1) SHALL BE STACKED CHRISTY B9 OR EQUAL.

7. THE EXISTING WATER LATERAL SERVICE IS TO REMAIN. CONTRACTOR TO INSTALL NEW COPPER SERVICE FROM HOME TO ADU. SIZE OF SERVICE PER FIRE PREVENTION AND DOMESTIC NEED, EXISTING SERVICE SHALL BE UPGRADED IF REQUIRED FOR ADU SERVICES AS REQUIRED BY WATER SERVICE PROVIDER. CONTRACTOR TO INSTALL BACKFLOW PREVENTION DEVICE AND ISOLATION VALVE, IF CURRENTLY NOT ON SYSTEM HOME SERVICE. DEVICES SHALL BE INSTALLED ON THE DISCHARGE SIDE OF METER AND BE PLACED WITHIN ONE FOOT OF METER. A PRESSURE REDUCING VALVE SHALL BE INSTALLED AT BUILDING FACE.

8. THE ACCESSORY UNIT SEWER SHALL GRAVITY FLOW TO A NEW DUPLEX SEWER PUMP STATION, IN CRAWL SPACE. THE DUPLEX SYSTEM SHALL CONSIST OF 2-WS1012BF GOULD SUBMERSIBLE SEWAGE PUMPS (1HP, 1PH, 230V, 12.3FLA, 1750) WITH RHOMBUS SINGLE PHASE DUPLEX PANEL WITH ALARM (1221W114H6A-17A). DESIGN SHALL CONFORM TO 40 GPM @ 30-FEET+LOSS FOR RUN LENGTH AND BENDS, AS SHOWN ON THE PLAN.

9. ALL POOL OR SPA EQUIPMENT DRAINING OR FLUSHING THE POOL OR SPA SHALL BE CONNECTED TO THE SEWER SUMP PUMP. CONTRACTOR SHALL WORK WITH PROJECT PLUMBER TO PROVIDE THE NECESSARY SEWER CONNECTIONS.

10. NEW ROOF DRAINAGE WILL BE DIRECTED TO LANDSCAPE AREAS TO THE EXTENT FEASIBLE AND NOTE TO ADJUST PROPERTIES.

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**-∆** = 5 **2**7' 24" R =760.00' L = 72.38'

![](_page_12_Figure_13.jpeg)

![](_page_12_Figure_14.jpeg)

APN: 034-072-220 29

En 13 5/ 65 cl	ngineering 321 2544 AMMAMIS 50-333- iffbechte	LIFFORD B and Project th Place, S H, WA 98 -0103 41 <b>G</b> comcas	ECHTEL LATES, INC. Management SE 075 st.net
		52075	HANDER * P
- - -			California
	SMITH RESIDENCE	445 VIRGINIA AVENUE	SAN MATEO COUNTY
		ITC.	San Mateo
	UT	TILI PLA	ΓY N
	ATE CALE EVISIO	06/23 AS N NS:	3/22 OTED
DF	RAWN	J.C	д. В.
JC SH	HEET C	no. <b>- 1</b>	1 .1 

![](_page_13_Figure_0.jpeg)

### A Chilopsis line B Tristaniopsis C Laurus nobilis D Acer palmatu E Citrus spp. " F Acer Dissect G Olea europae SHRUBS / PE I Juncus pater 2 Festuca Sisk 3 Heuchera mi 4 Pittosporum 5 Rosa liceber 6 Asparagus de 7 Lavandula x ir 8 Agave 'Blue 9 Pittosporum 10 Chondropet 11 Lomandra lo 12 Prunus lauro 13 Camellia japo 14 Hydrangea n 15 Pittosporum 16 Lantana mon 17 Loropetalum 18 Pieris japonio 19 Euonymus jap 20 Buxus sempe VINES V-1 Trachelosper V-2 Ficus pumila ( V-3 Camellia japo GROUNDCO G-1 Carex pansa G-2 Lippia nodific G-3 Ophiopogon LAWN Bolero Plus I

PLANT LIST

SYM SCIENTIFIC NAM

TREES

\*lawn not inclu

### GENERAL NOTES

### PLANTING NOTES

- TRUNK AND STAKE.

				6/3	30/22		
SMITH	RESIDENCE, 455 VIRGINIA AVE	1			-		
	COMMON NAME	QTY	SIZE	GROWTH	WUCOLS		
Anthe Goodland Multi	Desert Willow	í.	2CT BOY	EAGT	1/1	-	
aris Art's Seedless' Williti	Desert Willow	1	36 DUX	FAST	VL	-	
aurina (multi)	Swamp Myrtle	1	24" BOX	MOD.	M		
'Saratoga' (std)	Grecian Laurel	8	24" BOX	MOD.	L		
n 'Sangu Kaku'	Japanese Maple	2	36* BOX	SLOW	M		
wart	Dwart Citrus	2	15 GAL	MOD.	M		
im 'Red Dragon'	Acer Dissectum 'Red Dragon'		15 GAL	SLOW	M		
a 'Swan Hill' Multi 'Dwarf'	Olive	2	24" BOX	SLOW	L	-	
RENNIALS			1				
	Wire Grass	20	I GAL	MOD	Н		
ou Blue!	Sichiou Blue Fescue	74	I CAL	MOD.	1	-	
ob Dibe	Purela Palaca Coral Balla	14	I GAL	MOD.	L	-	
anuta rupic ralace	Pittosponum	0	I GAL	MOD.	6.4	-	
enunonum iviarjone Channon	Looborg Poss	E	ID GAL	EACT	IVI.	-	
and the second second	Accessed Accessed	5	DGAL	PASI	IVI b.c	-	
nsmorus 'Iviyers'	Asparagus rem	21	5 GAL	MOD.	IVI	-	
ermedia rhenomenal	rnenomenal Lavender	3	5 GAL	PASI	L	-	
lame	Blue Flame Agave	8	5 GAL	MOD.	Ŀ		
enuitolium 'Golt Ball'	Pittosporum	17	5 GAL	MOD.	M		
um elephantinum	Cape Rush	2	5 GAL	MOD.	M		
gifolia 'Breeze'	Dwarf Mat Rush	30	5 GAL	MOD.	L.		
erasus	English Laurel	15	15 GAL	MOD.	M		
lica	Camellia	11	15 GAL	MOD.	M		
acrophylla 'Endless Summer'	Hydrangea	4	5 GAL	MOD.	М		
enuifolium	Pittosporum	18	15 GAL	MOD.	M		
evidensis "White"	Trailing Lantata		5 GAL	FAST	L		
chinense 'Plum Delight'	Fringe Flower	6	15 GAL	MOD.	L		
i 'Mt Fire'	Japanese Pieris	11	15 GAL	SLOW	M		
onicus 'Microphyllus'	Boxleaf Euonymus	53	2 GAL	MOD.	L		
virens 'Sphere'	English Boxwood	6	15 GAL	MOD.	М		
					1	-	
num jasminoides (espalier)	Star Jasmine	4	5 GAL	MOD.	M	Ē	
staked)	Creeping Fig	4	5 GAL	MOD.	M		
ica White Doves 'Espalier'	Camellia	3	15 GAL	MOD,	М		
FRS							
	California Meadow Sedae	80	I GAL	MOD.		-	
a	Kurapia	507 st	ROLLS	MOD	1	-	
aponicus 'Nana'	Mondo Grass	20	I GAI	MOD	M	-	
		LQ	1 OnL	WICE.	101		
						_	
lend, Delta Bluegrass Co. (800) 637-	8873	717 sf	ROLLS	SLOW		1	
eu in calculatoris, see area calcs	TOTALOTY	94C	LEVI OTY	692	73 0	07	
	ICIAL OLI	14	CTYLO(1)	1	10.6	10	
		VL	3 :		1 qts	Ý	
		L	2,30	2 st	691 9	ty	
		M	513	sf	154 9	ty	
NON-TURF IRRIGATED AREA:	2,885	н	67	sf	20 qty		

1. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO COMPLETE PROPOSED WORK PER CITY REQUIREMENTS

CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, SITE IMPROVEMENTS, WATERPROOFING AND UNDERGROUND PIPING BEFORE CONSTRUCTION BEGINS. THE LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS. ALL DISCREPANCIES OR PROBLEMATIC SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITEC

8 WORK WITHIN THE RIGHT OF WAY IS SUBJECT TO INSPECTION AND APPROVAL BY THE CITY CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM PUBLIC WORKS 4. FINISHED GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SHALL BE PROPERLY INSTALLED TO PREVENT ANY STANDING WATER. ALL HARDSCAPE SHALL HAVE A MINIMUM GRADE OF 2% UNLESS NOTED OTHERWISE. JUTE MESH EROSION CONTROL NETTING SHALL BE USED ON ALL 3:1 OR GREATER SLOPES & STAKED APPROPRIATELY. 5. CONTRACTOR SHALL PROVIDE PROTECTION FOR EXISTING TREES BY INSTALLING TEMPORARY FENCING AROUND THE TREES AS CLOSE AS POSSIBLE TO THE DRIPLINE. IN THE EVENT THAT TREE ROOTS OVER 6" ARE DISCOVERED. THE LANDSCAPE ARCHITECT SHOULD BE CONTACTED.

6. CONTRACTOR SHALL REFER TO ARCHITECTURAL, CIVIL, & OTHER ENGINEERING DRAWINGS / DOCUMENTS FOR WORK IN RELEVANT AREAS.

7. THE LANDSCAPE ARCHITECT MAY MAKE SITE OBSERVATIONS DURING CONSTRUCTION BUT SHALL NOT BE UTILIZED TO SUPERVISE CONSTRUCTION ONSITE

1. LANDSCAPE CONTRACTOR SHALL VERIFY PLANT AND SOD QUANTITIES PRIOR TO SUBMITTING BID FOR WORK.

2. ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST STANDARDS OF NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.

3. PLANT MATERIAL CANNOT BE GUARANTEED AS DEER RESISTANT DUE TO CHANGING HABITS OF DEER

4. ALL PLANTING AREAS SHALL BE COVERED WITH A LAYER OF BARK MULCH TO A MINIMUM DEPTH OF 2 INCHES, WITH A CHIP SIZE OF NO LESS THAN ONE INCH. A 2 INCH LAYER OF GREENWASTE MULCH UNDER THE BARK MULCH IS RECOMMENDED

FREE OF DEBRIS. ROCKS LARGER THAN ONE INCH DIAMETER WILL NOT BE PERMITTED. SOIL 5 SOIL AMENDMENTS SHALL BE USED AS NECESSARY – SOIL AMENDMENT SHALL F ARE NOT PERMITTED IN TYPICAL NATIVE PLANT LANDSCAPE AREAS

6. PLANTING HOLES SHALL GENERALLY BE 2x - 3x THE SIZE OF THE ROOT BALL. THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH 5% ORGANIC COMPOST & 95% EXISTING SOIL. PLANTING HOLES OF NATIVE PLANT MATERIAL SHOULD BE INOCULATED WITH MYCORRHIZAL FUNGI. PER MANUFACTURER'S SPECS 7. TREES SHALL BE STAKED WITH TWO PRESSURE TREATED 2" DIA. POLES. TREE TRUNK SHALL BE SECURED WITH TWO RUBBER TIES OR STRAPS FORMING A FIGURE-EIGHT BETWEEN

8. RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED BY THE CONTRACTOR AS NECESSARY. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS. 9. LAWN SHALL NOT BE INSTALLED ON SLOPES GREATER THAN 25%. ALL TURF AREAS SHALL BE FERTILIZED AT TIME OF INSTALLATION.

# LANDSCAPE PLAN

SCALE: 1/8'' = 1'-0''

![](_page_13_Figure_31.jpeg)

![](_page_14_Figure_0.jpeg)

SCALE: 1/8'' = 1'-0''

projects. Table 1: New Construction Projects Landscape Area Guidance The ordinance does not apply to your project. <500 square feet Submit the Prescriptive Measures Form. 500<2500 square feet ≥2500 square feet Applicant must submit Full Landscape Project Documentation Package. Table 2: Rehabilitated Landscape Projects Guidance Landscape Area <1000 square feet The ordinance does not apply to your project 1000<2500 square feel Submit the Prescriptive Measures Form Applicant must submit Full Landscape Project Documentation Package. ≥2500 square teet **Project Information** 445 VIGNIE AVE SAN MATEO, CA Landscape Area (sq. fl.): 2,485 SV 7 H/ \_\_\_\_\_ New construction - includes a new scholing with and paper, in other new bandwater such as a fork pragmanet, or generated where in consecuted upfulling.  $\overline{6}$ MX $\overline{5}$ <sup>2</sup> <u>Bondel and landsman</u>, any re-backgroup project that requires a permit, a an check, or design notation meets be requirements of 15 72, and use a modified backgroup area equal to in granter than 2,560 square feet. <sup>9</sup>Landscipe gree will be planting encort for anoth, and enter Natures in a tandecape design pain subject to the mechanism applied water advances casculater. The tandecape area does not include (potents of buildings a solution), subwate, showing tax techs, parks, prices preserves and exclude (potents of buildings are does not include (potents of buildings are solution), subwate, showing tax techs, parks, prices preserves and exclude (potents of buildings are does not include (potents of buildings are solution), subwate, showing tax techs, parks, prices are solve as the particular prices prices and exclude (potents).  $120_{\rm h}$ 118 SCH 407M 116 M 1154 (114)----- $\left< \frac{1}{MX} \right>$ (N) BACKFLOW PREVENTION DEVICE 109107 106105 (E) WATER METER-LOCATION \*FIELD VERIFY SIZE & PRESSURE VIRGINIA IRRIGATION PLAN

The City of San Mateo has adopted a Water Conservation in Landscaping Ordinance (SMMC 23.72) to ensure that all qualified development projects comply with the State of California's Water Efficient Landscape Ordinance (WELO). This ordinance was created to reduce water usage and ensure landscapes are constructed to a low for the efficient use of water.

Building Division 330 West 20th Avenue

San Mateo, CA 94403 (650) 522-7172 www.cityofsanmateo.org Water Conservation in Landscaping

Screening Form

REVISED 08/22/19

This form will help you determine whether your project qualifies for the ordinance and connect you with the necessary forms to complete your application. Table 1 outlines the requirements for new construction<sup>1</sup> while Table 2 highlights the specifics for rehabilitated landscape<sup>2</sup>

![](_page_15_Figure_5.jpeg)

### SYM DESCRIPTION $\leftrightarrow$ IRRIGATION METHOD (SPY: WATER USE (VL: VERY LOW $\langle MX \rangle$ WEATHERMATIC SMARTLINE FEBCO 825Y REDUCED PRE ► SHUT-OFF VALVE ♣ IRRITROL 100 SERIES CONT FILTER / PRESSURE REGULAT <sup>C</sup>• | HUNTER MPR40 BODY W/ M RAINBIRD XERI-BUBBLER SP - | PVC SCH 40 MAINLINE PVC SCH 40 LATERAL PIPINO NETAFIM TECHLINE CV DRIPI NETAFIM TECHLINE CV (SUB PVC SCH 40 SLEEVING

## **IRRIGATION LEGEND**

20. ALL SPRAY AND DRIP ZONES TO BE MIN. 5'-0" AND PREFERABLY 10'-0" AWAY FROM OAK TREE TRUNKS. WATER CONSERVATION IN LANDSCAPING ORDINANCE COMPLIANCE

### THESE PLANS COMPLY WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

# AVENUE

	PSI	GPM	REMARKS	
SPRAY DRP: DRIP BUB: BUBBLER SUB: SUB-SURFACE)				
L: LOW M: MEDIUM H: HIGH MX: MIXED)				
SERIES CONTROLLER	-	-	W/ WEATHER STATION	
SSURE ASSEMBLY	175 max.	-	W/ SHUT-OFF VALVES	
	60-100	-	BRASS BALL VALVE	
	60-100	-	30" TALL BRASS LINE & FIXTURE	
ROL VALVE	60-100	-	W/ GLOBE VALVE	
OR	-	-	AS NEEDED PER MFR'S SPECS	
P ROTATOR SERIES	30-55	.07-2.63	(C)-CORNER, (1)-1000 etc.	
KE *NOT SHOWN	15-30	.0222	AS NEEDED, SEE DETAIL	
	60-100	-	SEE PLAN FOR SIZING	
r X	30-55	-	SIZING TBD BY CONTRACTOR	
INE	-	-	SIZING TBD BY CONTRACTOR	
SURFACE)	10-30	-	INSTALL PER MFR'S SPECS	
	-	_	UNDER ALL PAVING / WALLS	

1. THE CONCEPTS ON THE IRRIGATION PLAN ARE SCHEMATIC MINIMUM REQUIREMENTS. THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE

2. ALL IRRIGATION SYSTEM COMPONENTS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. MANUFACTURER'S SPECIFICATIONS

3. IRRIGATION SYSTEM SHALL USE PRESSURE REGULATORS AS NEEDED TO KEEP ALL COMPONENTS WITHIN OPTIMAL PSI RANGE, PER

5. CONTROLLER SHALL BE SET TO IRRIGATE BETWEEN THE HOURS OF 8PM AND 10AM. CONTROLLER SHALL BE SET TO IRRIGATE DEEPLY AND LESS FREQUENTLY TO ENCOURAGE DROUGHT RESISTANT ROOT GROWTH. IRRIGATION SCHEDULE TO BE DETERMINED BY AUDITOR / CONTRACTOR.

12. LATERAL SUPPLY LINES & FITTINGS SHALL BE PVC SCH 40, SIZE TO BE DETERMINED BY CONTRACTOR, BURIED 9" - 12" DEEP.

13. FLEXIBLE POLY PIPE TO BE  $\frac{1}{2}$ " - $\frac{3}{4}$ ", determined by contractor. All  $\frac{1}{4}$ " flexible distribution lines to be a maximum of 5'-0" in length

### 14. BUBBLERS SHALL BE SPACED TO CREATE AN EVEN WET ZONE ABOUT THE SIZE OF THE CANOPY OF ALL NEW SHRUBS, NEW TREES & EXISTING IMMATURE NON-NATIVE TREES. BUBBLERS SHALL BE PLACED TO AVOID AS MUCH AS POSSIBLE IRRIGATING OAK TREES & ANY OTHER EXISTING.

15. HOSE BIBS SHALL BE MOUNTED ON GALVANIZED STEEL RISERS 30" ABOVE FINISHED GRADE. SECURE TO A #4 STEEL BAR DRIVEN 18" INTO

17. RISER HEIGHT IN LAWN AREAS SHALL BE 4". RISER HEIGHT IN MEADOW AREAS AND OTHER LANDSCAPE AREAS SHALL BE 12". THE RISERS FOR

18. IF LOCATION OF A SUPPLY LINE INTERFERES WITH THE DRILLING OF THE PLANT HOLES, THE PLANT HOLES SHALL BE LOCATED AS TO CLEAR THE

18. ALL LINES SHALL BE THOROUGHLY FLUSHED OUT PRIOR TO ATTACHMENT OF VALVES, SPRINKLERS, EMITTERS, & OTHER TERMINAL FITTINGS. 19. THE CONTRACTOR SHALL MAKE FINAL ADJUSTMENTS TO THE IRRIGATION SYSTEM TO ENSURE PROPER COVERAGE AND PREVENT WATER RUN-OFF

OUTDOOR WATER USE EFFICIENCY CHECKLIST

RESI	DENTIAL OUTDOOR WATER U	SE EFFICIENCY CHECKLIST		
Be Completed	by Applicant		Pa	ge 1 né
sty the standard proje	the specified requirements of the Wat	er Conservation in Landscaping Ordinance.		
el a	all a	-3/15/21		
ture		Date · /	-	-
read in to trink the	in .		-	
w Construction 🖵 Rehi	ibilitated 🖵 Other:			
ogle Family 2 Multi-Far	ng D Commercial D Institutioner D Imgetion	orly I industrial I other	an	20
cant Nomie (print): N	ALCHER CALLEN	Concect Marie # 570.000	70	29
ct Site Address:	445 V 100 (NIA 1	erve.	Allency	Review
ct Area (sq.ft. or acre):	# of Units:	P of Meters:	(Pass)	(Fail)
aingle famöypreipet, p de-lantiv teattooment	Total Landscape Area (sq.ft): 2435		ш	-
a, onter this informatio	Turi Imgates Area (so.ft.): 39	5		Э
I alber payerts trout a	Non-Turf Irrigated Area [sq.lt.]:		U.	5
pale value for the entire	Irrigated Special Landscape Area (SLA) Isq ft)	2100		E.
il.	Water Faature Surface Area (sc.ft.):	-		
scape Parameter	Requirements	Project Compliance		
Material	tow water using plants are installed for at least 75% of plant area	No, see Special Landscape Area and/or Recycled Water Area		2
	2 25% of the landscape area is turl	Uno, See Water Buoget	0	-
	There is no turl in parkways < 10 feet wine	No. if adjacent to a parking strip	u	1
	All turf is planted on slopes < 25%	<b>D</b> wes	ш	L
azanes	Plants are grouped by Hydrozones	Dres	ш	1
oost	At least 4 cubic vards per 1,000 sq ft to a depth of 6 inches	Kyes J No, See Soil Test		5
	At least 3-inclues of mulch on exposed soil surfaces	Kyes	U	1
	Use of automatic irrigation controllers that use evopotranspiration or soil moisture sensor data and utilize a rain sensar	<b>D</b> ives	U)	1
Irrigation System	frigation controllers do not lose programming data when power source is interrupted	Kres	u	1
	Inigation system includes pressure regulature	<b>K</b> Yes	а	1
	Manual shut-off valves are installed near the connection to the water supply	<b>S</b> -Yes	-	ц
	All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or highe	Kyes		1
	Areas < 10 feet shall be migated with subsurface imgation	Yes D No, but there is no runoff or overspray	U	3
ring	Separate Inigation meter	□ Yes No. cor required if < 5.000 so ft		Э

OUTDOOR WATER USE EFFICIENCY CHECKLIST

		the second se				
Swimming Pools / Spas	Cover required for new pools and spas	No. no new pool or spa	-			
Water Features	Recirculating	where a start of the start of t	i.			
	Project information	7 I Yos	L	U.		
	Water Efficient Landscape Worksheet (optional if < 2,500 sq It of lanoscape area	Prepared by professional	-	a		
	Soll Management Report (optional if < 2,5) sq ft of landscape area)	00 Prepared by professional	-	ц		
(per section 492.3)	Landscape Design Plan (optional if < 2,503 ft of landscape area)	503 sq				
	irrigation Design Plan (optional if < 2,500 s it of landscape area)	< 2,500 sg				
	Grading Design Plan (optional 1 <sup>1</sup> < 2,580 sq of landscape area)	fin A Prepared by professional	L	0		
Audit	Past-instal ation audit completed	250055 Completed by professional				
Auditor:		Material Distributed to A	pplicant			
Materials Received and Re-	viewed:	U Regional Water Efficient Landscape	Ordinance			
Project Information		Residential Outdoor Water Use Efficiency Checklist				
U Water Efficient Landstop	e Worksheet	U Water Efficient Landscape Warlisheet				
LI Residential Outdoor Water Use Efficiency Checklist		C Plant List				
D Post-installation Audit		Li Other:				
🗆 Landscape Design Plan						
Soil Management Report	L					
linigation Design Plan						
🛛 Grading Design Plan						
Date Reviewed:						
D Follow up required (expl	an).	Measures Recommended to	n Appf cant			
		LI Drip impation				
Date Resubmitted:		🗀 Plant palate				
Date Approved:		니 Grading				
Dedicated Irrigation Meter Required:		Pool and/or spacover				
Mater sizing:		L Dedicated irrigation meter				
		D Other:				
			-	-		
Comments:						

![](_page_15_Figure_32.jpeg)

![](_page_16_Figure_0.jpeg)

## IRRIGATION NOTES 1. THE CONCEPTS ON THE IRRIGATION PLAN ARE SCHEMATIC MINIMUM REQUIREMENTS. THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL MAKE ADJUSTMENTS AS NECESSARY BASED ON ACTUAL SITE CONDITIONS 2. ALL IRRIGATION SYSTEM COMPONENTS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. MANUFACTURER'S SPECIFICATIONS SUPERSEDE ANY SPECS ON THESE PLANS / DETAILS. 3. IRRIGATION SYSTEM SHALL USE PRESSURE REGULATORS AS NEEDED TO KEEP ALL COMPONENTS WITHIN OPTIMAL PSI RANGE, PER MANUFACTURER'S SPECS. 4. CONTROLLER TYPE SHALL BE A SMART CONTROLLER. RAIN SENSORS AND / OR WEATHER STATIONS ARE RECOMMENDED 5. CONTROLLER SHALL BE SET TO IRRIGATE BETWEEN THE HOURS OF 8PM AND 10AM. CONTROLLER SHALL BE SET TO IRRIGATE DEEPLY AND LESS FREQUENTLY TO ENCOURAGE DROUGHT RESISTANT ROOT GROWTH. IRRIGATION SCHEDULE TO BE DETERMINED BY AUDITOR / CONTRACTOR. 6. PIPING BETWEEN THE WATER METER AND A REDUCED PRESSURE ASSEMBLY SHALL BE BRASS OR COPPER TYPE 'K 7. THE BOTTOM OF THE REDUCED PRESSURE ASSEMBLY SHALL BE INSTALLED MIN. 12" ABOVE THE GROUND. 8. A 100 MESH FILTER SHALL BE INSTALLED ON THE MAINLINE BEFORE THE REDUCED PRESSURE ASSEMBLY 9. VALVES SHALL BE HOUSED IN WEATHER-PROOF PLASTIC BOXES, WITH LOCKABLE LIDS MARKED WATER. 10. CONTROL WIRE CONNECTIONS SHALL BE MADE WITH WATERPROOF PLASTIC WIRE NUTS 11. MAIN SUPPLY LINES & FITTINGS SHALL BE PVC SCH 40, SIZE AS NOTED ON PLAN, BURIED 12" - 16" DEEP. 12. LATERAL SUPPLY LINES & FITTINGS SHALL BE PVC SCH 40, SIZE TO BE DETERMINED BY CONTRACTOR. BURIED 9" - 12" DEEP 13. FLEXIBLE POLY PIPE TO BE $\frac{1}{2}$ " - $\frac{3}{4}$ ", DETERMINED BY CONTRACTOR . ALL $\frac{1}{4}$ " FLEXIBLE DISTRIBUTION LINES TO BE A MAXIMUM OF 5'-0" IN LENGTH & ARE TO BE STAKED. 14. BUBBLERS SHALL BE SPACED TO CREATE AN EVEN WET ZONE ABOUT THE SIZE OF THE CANOPY OF ALL NEW SHRUBS. NEW TREES & EXISTING IMMATURE NON-NATIVE TREES. BUBBLERS SHALL BE PLACED TO AVOID AS MUCH AS POSSIBLE IRRIGATING OAK TREES & ANY OTHER EXISTING, MATURE NATIVE OR DROUGHT TOLERANT PLANTS. 15. HOSE BIBS SHALL BE MOUNTED ON GALVANIZED STEEL RISERS 30" ABOVE FINISHED GRADE. SECURE TO A #4 STEEL BAR DRIVEN 18" INTO SOLID GROUND. 16. CHECK VALVES SHALL BE INSTALLED ON ALL DOWNHILL DRIPLINE & DISTRIBUTION LINE. 17. RISER HEIGHT IN LAWN AREAS SHALL BE 4". RISER HEIGHT IN MEADOW AREAS AND OTHER LANDSCAPE AREAS SHALL BE 12". THE RISERS FOR SPRINKLERS ON SLOPES SHALL BE SET APPROXIMATELY PERPENDICULAR TO THE PLANE OF THE SLOPE. 18. IF LOCATION OF A SUPPLY LINE INTERFERES WITH THE DRILLING OF THE PLANT HOLES, THE PLANT HOLES SHALL BE LOCATED AS TO CLEAR THE SUPPLY LINES. 18. ALL LINES SHALL BE THOROUGHLY FLUSHED OUT PRIOR TO ATTACHMENT OF VALVES, SPRINKLERS, EMITTERS, & OTHER TERMINAL FITTINGS 19. THE CONTRACTOR SHALL MAKE FINAL ADJUSTMENTS TO THE IRRIGATION SYSTEM TO ENSURE PROPER COVERAGE AND PREVENT WATER RUN-OFF AND EXCESS SPRAY. 20. ALL SPRAY AND DRIP ZONES TO BE MIN. 5'-0" AND PREFERABLY 10'-0" AWAY FROM OAK TREE TRUNKS. WATER CONSERVATION IN LANDSCAPING ORDINANCE COMPLIANCE THESE PLANS COMPLY WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

REVISI	ONS
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	63 Bovet Road #31 San Mateo, CA 9440 650-372-922 <i>Fax:</i> 650-372-921 mike@michaelcallan.col
Michael Callan Michael Callan Michael Callan Michael Callan	
SMITH RESIDENCE	445 VIRGINIA AVENUE SAN MATEO, CALIFORNIA
ATE: SEPTEMBER TLE:	00, 2015
NOTE DETA	S / LS
L2	.5

![](_page_17_Figure_0.jpeg)

CONTRACTOR. THE CONTRACTOR SHALL MAKE ADJUSTMENTS AS NECESSARY BASED ON ACTUAL SITE CONDITIONS. 2. ALL LIGHTING SYSTEM COMPONENTS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. MANUFACTURER'S SPECIFICATIONS SUPERSEDE ANY SPECS ON THESE PLANS / DETAILS. 3. ALL ELECTRICAL WORK SHALL BE PERFORMED IN CONFORMANCE WITH STATE AND LOCAL CODES. ALL 120v / 220v ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN. ALL ELECTRICAL WORK SHALL BE COORDINATED WITH GENERAL CONTRACTOR.

4. DIRECT BURIAL WIRE SHALL BE INSTALLED WITH A MINIMUM OF 8" SOIL COVER. CABLE SHALL BE CIRCUITED AND SIZED TO PROVIDE A MINIMUM OF 10.5v AND A MAXIMUM OF 11.5v TO ALL LIGHTING FIXTURES. MINIMUM UNDERGROUND LOW VOLTAGE CABLE SIZE IS 12-GAUGE MULTI-STRAND DIRECT BURIAL CABLE. LEAVE 24" LOOPS AT ALL FIXTURE LOCATIONS FOR FINAL ADJUSTMENT. ALL WIRE JUNCTIONS SHALL BE JOINED WITH FULLY ENCAPSULATED WATERPROOF CONNECTORS RATED FOR DIRECT BURIAL INSTALLATIONS

## LIGHTING / UTILITY LEGEND

SYM	DESCRIPTION	WATT	QTY.	VOLTS	REMARKS
	FX LUMINAIRE M-PL	20	30	12	PATH LIGHT
	FX LUMINAIRE MU-LED	35 1	1	12	UPLIGHT
	FX LUMINAIRE LM-LED	20	68	12	WALL / STEP MOUNT LIGHT
-	COLUMN LIGHTS	60	4	110v	MATCH HOUSE
$\oplus$	FOUNTAIN LIGHTS	35	4	12	FOUNTAIN LIGHTS
\$	SWITCH LOCATIONS	-	-	12	INSTALL PER UBC STDS.
Ф	ELECTRICAL OUTLET	-	10	110v	INSTALL PER UBC STDS.
(	ELECTRICAL OUTLET	-	1	220v	INSTALL PER UBC STDS.
T	TRANSFORMER - MULTI-TAP			110v	INSTALL PER UBC STDS.

1. THE CONCEPTS ON THE LIGHTING PLAN ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE

5. ELECTRICAL CONTRACTOR SHALL INSTALL SLEEVES AND CONDUITS OF SUFFICIENT SIZE UNDER ALL PAVED AREAS AS NEEDED. SCHEDULE 40 PVC ELECTRICAL CONDUIT SHALL BE BURIED A MINIMUM DEPTH OF 18".

6. TRANSFORMERS SHALL BE STAINLESS STEEL MULTI-TAP SIZED TO BE 80% LOADED. INSTALL TRANSFORMERS 12" OFF FINISH GRADE AND LEVEL. ALL WIRES LEADING TO OR FROM TRANSFORMER SHALL BE IN CONDUIT SLEEVE THAT IS AFFIXED TO MOUNTING SURFACE. ALL JUNCTION BOXES AND OTHER EQUIPMENT SHALL BE UL APPROVED FOR WET LOCATIONS.

7. CONTRACTOR SHALL COORDINATE WITH OWNER ON TIMERS, SWITCH LOCATIONS, AND SYSTEM GROUPING OF LIGHTING FIXTURES ON EACH

8. FIXTURES SHALL NOT BE DIRECTED TOWARD THE STREET, SKY, OR NEIGHBORING PROPERTIES.

9. CONTRACTOR SHALL INSTALL FIXTURES WITH A MINIMUM OF 18" CLEARANCE TO ALL PATHWAYS.

10. ALL OUTDOOR FIXTURES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINARIES OR SHALL BE CONTROLLED BY A PHOTO-CONTROL / MOTION SENSOR COMBINATION.

11. ALL 125v, SINGLE PHASE, 15 & 20 AMP RECEPTACLES INSTALLED OUTDOORS WITHIN 6 FT. OF A WET BAR SINK OR LAUNDRY / UTILITY SINK, SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION PER STATE AND LOCAL CODE.

12. CONTRACTOR IS RESPONSIBLE FOR FINAL ADJUSTMENTS TO CHECK FOR VOLTAGE DROP AND POSSIBLE WIRING PROBLEMS.

# LIGHTING / UTILITY PLAN

SCALE: 1/8'' = 1'-0''

![](_page_17_Figure_25.jpeg)

### Kielty Arborist Services LLC Certified Arborist WE#0476A P.O. Box 6187 San Mateo, CA 94403 650-515-9783

### November 11, 2020 Mr. Josh Smith 445 Virginia

San Mateo, CA 94402

### Site: 445 Virginia, San Mateo, CA Dear Mr. Smith,

As requested on Monday, November 1, 2020 for the purpose of inspecting and commenting on the trees. A new home is planned for this site and your concern as to the future health and safety has prompted this visit.

All inspections were made from the ground; the tree was not climbed for this inspection. The trees were located on a map provided by you. The trees were then measured for diameter at 48 inches above ground level (DBH or diameter at breast height). The tree was given a condition rating for form and vitality. The trees' condition

![](_page_18_Picture_7.jpeg)

0 Hypsometer. The spread was paced off. Comments nd recommendations for future maintenance are provide Landscape Units worksheet will be provided for every tree over 6 inches in diameter. An exploratory trench was dug at the proposed foundation to inspect for root damage.

Deodar cedar #2 in the southern corner of the lot.

### 445 Virginia/11/11/20 DBH CON HT/SPComments **Tree#** Species Shamel ash 24 55 40/35 Good vigor, poor-fair form, 8 feet (Fraxinus uhder the hous 21.4 60 45/35 Good vigor, fair form, recently trimmed. Deodar cedar (Cedrus deodara) Privet 21.4 60 45/35 Good vigor, fair form, suppressed. (Ligustrum japonicum) 8.1 50 25/20 Good vigor, fair form, suppressed. Dracaena palm (Dracaena drago 25est 45 30/35 Fair vigor, poor form, poor location, Camphon (Cinnamomum camphora) 22.565 45/35 Good vigor, fir form, trimmed for line clearance. 6\* Deodar cedar (Cedrus deodara 45 20/20 Fair vigor, poor form, multi leader at 3 feet (Prumus spp) Deodar cedar 22.5 65 45/35 Good vigor, fair form, recently trimmed. (Cedrus deodara) 10est 55 20/20 Fair vigor, poor form, topped, psyllid on (Syzygium australe, 14est 55 20/20 Fair vigor, poor form, topped, psyllid on Eugenia (Syzygium australe) Orange 4.5 75 10/10 Good vigor, fair form. (Citrus sinensis) \*indicates neighbor's tree

The trees on site are a mix of imported trees (exotics), there are no native trees on site. All of the trees are on the perimeter of the property ideal for construction. The footprint for the new home will be slightly smaller than the existing home which will lessen any impacts to the trees.

### 445 Virginia/11/11/20

The two deodar cedars are the only heritage size (10" DBH) trees on the site. The trees are well away from the home construction and impacts will be non-existent to minor. The proposed landscaping will require some grading and impacts to the cedars should be minor. The project arborist will be on site for any grading or excavation near protected trees.

![](_page_18_Picture_14.jpeg)

wo hentage sized trees are located on th neighboring properties. Ash tree #1 is 8 feet from ae existing house. The tree will be protected with andard tree protection and will be inspected prio to the start of demolition, ate the time of excavation or the new foundation and monthly for the entire ngth of the project. The cedar #6 is on the boring property in the eastern corner of th operty. The tree will not be affected and will be rotected by the existing property line fence. The owing tree protection plan will help reduce acts to the retained trees on site.

eodar cedar #8 in the rear center of the lot. Impacts to this tree appear to be minor to non-

### **Tree Protection Plan** Tree protection fencing

Tree protection zones should be established and maintained throughout the entire length of the ject. Fencing for the protection zones should be 6 foot tall metal chain link type fencing supported my metal poles pounded into the ground. The support poles should be spaced no mor than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. Areas outside the fencing but still beneath the dripline of protected trees, where foot traffic is expected to be heavy, should be mulched with 4 to 6 inches of chipper chips.

![](_page_18_Picture_19.jpeg)

Frenching and excavation

Frenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of buriap or straw wattle and kept moist. Plywood over the top of the trench will also help protect exposed roots below

Normal irrigation should be maintained throughout the entire length of the project. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During he fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Kevin R. Kielty Certified Arborist WE#0476A

![](_page_18_Figure_25.jpeg)

SCALE: NTS

![](_page_18_Figure_29.jpeg)

# VEGETATION MANAGEMENT / TREE PROTECTION PLAN

2004-6, § 1, 2004).

CONSTRUCTION.

(D) TREE PROTECTION PLAN REVIEW. THE TREE PROTECTION PLAN DESCRIBED IN SECTION (C). ABOVE, SHALL BE REVIEWED BY THE CITY ARBORIST. THE PLAN IS SUFFICIENT TO PREVENT HARM TO PROTECTED TREES FROM REASONABLY FORESEEABLE CONSTRUCTION ACTIVITIES, IT SHALL BE APPROVED AND RELATED BUILDING PERMITS OTHERWISE COMPLETE SHALL ISSUE (ORD. 2007-1 § 3; 2007; ORD. 2005-3, § 1, 2005; ORD.

(9) CONTAIN THE SIGNATURE OF THE PROPERTY OWNER AND BUILDING PERMIT APPLICAN

ONSTRUCTION SO THAT PROPER TREATMENT MAY BE ADMINISTERED

(8) REQUIRE THAT THE CITY BUILDING OFFICIAL BE NOTIFIED WHENEVER ANY DAMAGE OR INJURY OCCURS TO A PROTECTED TREE DURING

THOSE PROVISIONS

(7) INCLUDE OTHER PROVISIONS AS DEEMED NECESSARY BY THE CITY ARBORIST TO PRESERVE THE PROTECTED TREE AND INSURE COMPLIANCE WITH

HEALTH OF PROTECTED TREES. THE ARBORIST SHALL BE PRESENT WHENEVER ACTIVITIES OCCUR WHICH WILL POSE A POTENTIAL THREAT TO THE HEALTH OF THE PROTECTED TREES OR WHENEVER ANY WORK NEEDS TO BE DONE WITHIN THE DRIP LINE OF SUCH TREE

(6) INCLUDE PROVISION FOR THE RETENTION OF THE SERVICES OF A CERTIFIED ARBORIST FOR PERIODIC MONITORING OF THE PROJECT SITE AND THE

(5) UTILITY SERVICE AND IRRIGATION LINES SHALL BE LOCATED OUTSIDE OF THE DRIP LINE WHEN FEASIBL

(4) PROHIBIT THE ATTACHMENT OF WIRES, SIGNS AND ROPES TO ANY PROTECTED TREE.

WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SHOWN ON THE PLANS AND IDENTIFIED BY SPECIES

(C) A TREE PROTECTION PLAN SHALL AT A MINIMUM INCLUDE THE FOLLOWING REQUIREMENTS:

FREE PROTECTION PLAN SHALL BE PREPARED BY A CERTIFIED ARBORIS

DRAINAGE CHANNELS, SWALES OR AREAS THAT MAY LEAD TO THE DRIP LINE

CONDITIONS OF APPROVAL - TREE PROTECTION / TREE REPLACEMENT

THAT ARE DESIGNATED TO BE PRESERVED.

ROOTS RETAINED.

THE PROPERTY. (PLANNING)

BUILDING, PUBLIC WORKS)

11. RECOMMENDATIONS BY CONSULTING ARBORIST - THE RECOMMENDATIONS CONTAINED IN THE REPORT PREPARED BY THE CONSULTING ARBORIST, INCLUDING THE MITIGATION MEASURES OUTLINED IN THE MITIGATED NEGATIVE DECLARATION REGARDING TREE PRESERVATION,

MONITORED BY ROUTIME INSPECTIONS BY THE PLANNING, BUILDING AND PUBLIC WORKS DEPARTMENTS AND THROUGH MONTHLY REPORTS

12. TREE PROTECTION - THE APPLICANT SHALL PROTECT ALL MAJOR VEGETATION DESIGNATED TO REMAIN FROM DAMAGE DURING CONSTRUCTION.

A) PROTECTIVE FENCING SHALL BE LOCATED AT THE DRIP LINE OF EXISTING MAJOR VEGETATION TO REMAIN. THIS PROTECTIVE FENCING SHALL BE

B) ALL RECOMMENDATIONS FOR TREE PRESERVATION - INCLUDING ROOT PRUNING, PRUNING, FERTILIZATION AND MULCHING - CONTAINED IN THE

C) OIL, GAS, CHEMICALS, TOPSOIL, CONSTRUCTION MATERIALS, VEHICLES AND EQUIPMENT SHALL NOT BE STORED WITHIN THE DRIP LINE OF TREES

E) TRENCHING UNDER THE DRIP LINE OF TREES IS TO BE AVOIDED. IF TRENCING IS NECESSARY, TRENCHES ARE TO BE HAND DUG AND MAJOR

F) TO MITIGATE THE REMOVAL OF MAJOR VEGETATION AND HERITAGE TREES, REPLACEMENT LANDSCAPING WILL BE PROVIDED. THE SIZE OF

ALL TREE PROTECTION MEASURES SHALL BE CONSTRUCTED PRIOR TO ISSUANCE OF A GRADING PERMIT, DEMOLITION PERMIT, OR BUILDING PERMIT.

THE APPLICANT SHALL CONTACT THE PLANNING DIVISION TO INSPECT THE TREE PROTECTION MEASURES PRIOR TO ISSUANCE OF ANY PERMITS ON

13. TREE PROTECTION - THE APPLICANT SHALL PROTECT ALL MAJOR VEGETATION DESIGNATED TO REMAIN FROM DAMAGE DURING CONSTRUCTION.

MEASURES OUTLINED IN THE MITIGATED NEGATIVE DECLARATION REGARDING TREE PRESERVATION, PROTECTION AND REPLACEMENT PLANTINGS ON

INTO THE PROJECT PLANS AND WILL BE REVIEWED BY THE PLANNING DIVISION PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND WILL BE

PROPOSED TO BE RETAINED. THESE REPORTS SHALL BE SUBMITTED TO THE CITY OF SAN MATEO PLANNING DIVISION FOR REVIEW. (PLANNING,

14. FINANCIAL SECURITIES FOR TREE PRESERVATION - THE APPLICANT SHALL SUBMIT FINANCIAL SECURITIES TO ENSURE THE PRESERVATION OF

15. TREE REPLACEMENT / IN LIEU FEES - THE APPLICANT SHALL PLANT TREES EQUIVALENT TO THE LANDSCAPE UNIT (LU) VALUE OF TREES TO BE REMOVED OR PAY A FEE IN LIEU OF PLANTING TREES AT THE RATE OF NINETY DOLLARS (\$90) PER REQUIRED LU PER THE ARBORIST REPORT AND THE

MITIGATION MEASURES CONTAINED IN THE MITIGATED NEGATIVE DECLARATION. THE APPLICANT SHALL PAY THE REQUIRED LU FEES PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THE FEES WILL GO INTO THE CITY'S PRESERVATION FUND TO ENSURE THAT REPLACEMENT PLANTING ARE PLANTED

16. PERMIT FOR REMOVAL OF MAJOR VEGETATION - THE APPLICANT SHALL OBTAIN A SITE DEVELOPMENT PERMIT FROM THE PLANNING DIVISION FOR

21. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE PROJECT ARBORIST IN A TIMELY MANNER TO HAVE THE PROJECT ARBORIST

24. THE PROJECT ARBORIST IS TO DETERMINE THE IRRIGATION SCHEDULE FOR PROTECTED TREES. THE GENERAL CONTRACTOR IS EXPECTED TO

ANY PERSON WHO OWNS, CONTROLS, HAS CUSTODY OR POSSESSION OF ANY REAL PROPERTY WITHIN THE CITY SHALL USE REASONABLE EFFORTS

TO MAINTAIN AND PRESERVE ALL HERITAGE TREES LOCATED THEREON IN A STATE OF GOOD HEALTH, PURSUANT TO THE PROVISIONS OF THIS

(A) ANY APPLICATION FOR DISCRETIONARY DEVELOPMENT APPROVAL FOR REAL PROPERTY OR FOR ANY OTHER DEVELOPMENT PROJECT SHALL BE ACCOMPANIED BY A SIGNED STATEMENT BY THE PROPERTY OWNER OR AUTHORIZED AGENT WHICH DISCLOSES WHETHER ANY HERITAGE TREES EXIST

ON THE PROPERTY AND DESCRIBES ON THE PLANS ASSOCIATED WITH THE APPLICATION THE LOCATION OF FACH SLICH TREE. ITS SPECIES, TRUNK

ONSTRUCTION WORK ASSOCIATED WITH ANY DEVELOPMENT PROJECT PERFORMED WITHIN A RADIUS MEASURED FROM THE TRUNK CENTER EQUAL TO TEN TIMES THE DIAMETER OF THE TREE TRUNK MEASURED AT 4' ABOVE GRADE SHALL REQUIRE THE PREPARATION AND SUBMITTAL OF A TREE

PROTECTION PLAN FOR REVIEW AND APPROVAL BY THE CITY ARBORIST PRIOR TO THE ISSUANCE OF ANY PERMIT FOR A DEVELOPMENT PROJECT. THE

(1) PRIOR TO THE COMMENCEMENT OF ANY DEVELOPMENT PROJECT, A CHAIN LINK FENCE SHALL BE INSTALLED AT THE DRIP LINE OF ANY PROTECTED

TREE WHICH WILL BE AFFECTED BY THE CONSTRUCTION AND SHALL PROHIBIT THE STORAGE OF ANY CONSTRUCTION MATERIALS, EQUIPMENT OR OTHER MATERIALS INSIDE THE FENCE. THE DRIP LINE SHALL NOT BE ALTERED IN ANY WAY SO AS TO INCREASE THE ENCROACHMENT OF THE

(2) PROHIBIT EXCAVATION, GRADING, SOIL DEPOSIT, DRAINAGE AND LEVELING WITHIN THE DRIP LINE UNLESS APPROVED BY THE CITY ARBORIST.

(3) PROHIBIT DISPOSAL OR DEPOSITING OF OIL, GASOLINE, CHEMICALS, PAINTS, SOLVENTS OR OTHER MATERIALS WITHIN THE DRIP LINE OR IN

SIZE AND DRIP LINE AREA. IN ADDITION. THE LOCATION OF ANY TREE WITHIN THIRTY FEET OF THE AREA PROPOSED FOR CONSTRUCTION THAT IS

(B) WITH REGARD TO ANY TREE REQUIRED TO BE IDENTIFIED UNDER SECTION (A) ABOVE, (HEREAFTER "PROTECTED TREE"), ANY EXTERIOR

REMOVAL OF MAJOR VEGETATION (TREES 6" DIAMETER OR LARGER) PRIOR TO THE ISSUANCE OF A GRADING OR BUILDING PERMIT. FEES FOR TREE

REMOVAL SHALL BE BASED ON THE NUMBER OF TREES TO BE REMOVED IN ACCORDANCE WITH CITY REGULATIONS. (PLANNING)

20. THE PROJECT ARBORIST SHALL BE RETAINED FOR PERIODIC MONITORING OF THE TREES AND PROTECTION MEASURES;

EXISTING TREES PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. TREE PRESERVATION FEES SHALL BE DETERMINED BY THE LANDSCAPE UNIT (LU)

VALUE AT A RATE OF NINETY DOLLARS (\$90) PER LU. IN ORDER TO RECLAIM FINANCIAL SECURITIES, THE APPLICANT SHALL REQUEST A FINAL PROJECT INSPECTION BY THE PLANNING DIVISION. IF THE APPLICANT DOES MEET THE OBLIGATIONS UNDER THE TERMS OF THE SECURITIES THAT MONEY SHALL

THE BUILDING PERMIT DRAWINGS. THE MITIGATION MEASURES IN THE REPORT PREPARED BY THE CONSULTING ARBORIST SHALL BE INCORPORATED

MONITORED BY ROUTINE INSPECTIONS BY THE PLANNING, BUILDING AND PUBLIC WORKS DEPARTMENTS. IN ADDITION. THE PROJECT ARBORIST WILL PROVIDE MONTHLY REPORTS (DURING PRE-DEMOLITION, DEMOLITION AND CONSTRUCTION ACTIVITIES) REGARDING THE HEALTH OF ALL TREES

TREE PROTECTION SHALL COMPLY WITH ALL PROVISIONS OF THE HERITAGE TREE ORDINANCE AND SHALL DEMONSTRATE AND INCLUDE THE MITIGATION

SUBMITTED FOR REVIEW TO THE PLANNING DIVISION BY THE PROJECT ARBORIST AND APPLICANT. (PLANNING, BUILDING, PUBLIC WORKS

TREE PROTECTION SHALL COMPLY WITH ALL PROVISIONS OF THE HERITAGE TREE ORDINANCE, APPROMED ARBORIST'S REPORT, AND ANY

CONSTRUCTED OF CHAIN LINK IN FOOTINGS AND SHALL REMAIN IN PLACE UNTIL FINAL INSPECTION PER THE ARBORIST'S REPORT.

APPROVED ARBORIST REPORT, AND / OR ADDITIONAL REQUIREMENTS IMPOSED BY THE CITY.

D) SIGNS, WIRES, OR OTHER TYPED OF OBSTRUCTIONS SHALL NOT BE ATTACHED TO TREES.

BE USED TO ACCOMPOLISH THE PRESERVATION OF EXISTING TREES. (PLANNING)

WITHIN THE CITY OF SAN MATEO. (PLANNING, PARKS AND RECREATION)

17. NO MATERIALS SHALL BE STORED WITHIN THE TREE PROTECTION ZONE;

PRESENT FOR ALL WORK PERFORMED WITHIN THE TPZ OF PROTECTED TREES;

APPLY SUPPLEMENTAL WATER AT THE DIRECTION OF THE PROJECT ARBORIST.

23. THE PROJECT ARBORIST IS TO MONITOR ALL WORK WITHIN THE TPZ;

18. NOTHING SHALL BE ATTACHED TO THE TREES WITHIN THE TPZ;

19. UTILITY SERVICES SHALL NOT BE LOCATED WITHIN THE TPZ;

22. NO SELF-PROPELLED EQUIPMENT MAY ENTER THE TPZ;

13.52.025 TREE PROTECTION AND PRESERVATION

**\*TPZ: TREE PROTECTION ZONE** 

CITY OF SAN MATEO NOTES

IN ADDITION, THE FOLLOWING REQUIREMENTS SHALL BE COMPLIED WITH AT ALL TIMES DURING CONSTRUCTION:

PROPOSED PLANTINGS INCLUDE: 50 (15-GALLON TREES), 28 (24-INCH BOX TREES), AND 8 (36-INCH BOX TREES).

REQUIREMENTS IMPOSED BY THE CITY. THE FOLLOWING TREE PROTECTION MEASURES SHALL BE SHOWN ON BUILDING PERMIT DRAWINGS:

PROTECTION AND REPLACEMENT PLANTINGS, AND ANY MODIFICATIONS IMPOSED THROUGH THE APPROVAL PROCESS, SHALL BE INCORPORATED INTO THE FINAL DESIGN OF THE PROJECT AND WILL BE REVIEWED BY THE PLANNING DIVISION PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND WILL BE REVISIONS

Bovet Road #314 Mateo, CA 94402 ex: 650-372-9219

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MAY 12, 2022 TREE

> PROTECTION PLAN

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![](_page_19_Figure_0.jpeg)

![](_page_19_Picture_1.jpeg)

![](_page_19_Picture_5.jpeg)

![](_page_20_Picture_0.jpeg)

![](_page_20_Picture_1.jpeg)

![](_page_20_Figure_3.jpeg)

![](_page_21_Figure_0.jpeg)

![](_page_21_Figure_1.jpeg)

![](_page_21_Figure_3.jpeg)

![](_page_21_Picture_4.jpeg)

![](_page_22_Picture_0.jpeg)

![](_page_22_Picture_1.jpeg)

![](_page_22_Figure_2.jpeg)

![](_page_22_Picture_3.jpeg)

![](_page_22_Figure_4.jpeg)

![](_page_22_Figure_5.jpeg)

![](_page_23_Figure_0.jpeg)

![](_page_23_Picture_1.jpeg)

![](_page_23_Picture_2.jpeg)

![](_page_23_Picture_9.jpeg)

![](_page_24_Figure_0.jpeg)

SECOND FLOOR AREA DETAIL	
PRIMARY SUITE	571.3SF
OFFICE SUITE	279.2 SF
BEDROOM 2 SUITE	359.7 SF
BEDROOM 3 SUITE	328.8 SF
LAUNDRY/HALL	291.4 SF
TOTAL SECOND FLOOR AREA	1830.4 SF

![](_page_24_Picture_2.jpeg)

![](_page_24_Figure_4.jpeg)

GROUND FLOOR AREA DETAIL	
LIVING ROOM	383.7 SF
KITCHEN	462.1 SF
ENTRY	145.9 SF
STAIR	135.3 SF
DEN/DINING	563.0 SF
ADU	408.1 SF
TOTAL GROUND FLOOR AREA	2098.2 SF

![](_page_25_Figure_0.jpeg)

![](_page_25_Figure_1.jpeg)

![](_page_25_Picture_5.jpeg)

![](_page_26_Figure_0.jpeg)

![](_page_26_Figure_1.jpeg)

![](_page_26_Figure_2.jpeg)

![](_page_27_Figure_0.jpeg)

![](_page_28_Figure_0.jpeg)

![](_page_28_Figure_18.jpeg)

![](_page_29_Figure_0.jpeg)

![](_page_29_Figure_1.jpeg)

C U R R E N T I S S U E 08.01.2022

![](_page_30_Figure_0.jpeg)

![](_page_30_Figure_7.jpeg)

C U R R E N T I S S U E 08.01.2022

![](_page_31_Figure_0.jpeg)

![](_page_31_Figure_1.jpeg)

![](_page_31_Picture_3.jpeg)

![](_page_31_Picture_6.jpeg)

08.01.2022

![](_page_32_Picture_0.jpeg)

445 VIRGINIA TO BE DEMOLISHED FOR NEW HOME -

433, 445 AND 451 VIRGINIA AVENUE. EXISTING NEIGHBORS ARE TWO STORIES TALL

![](_page_32_Figure_4.jpeg)

![](_page_32_Figure_5.jpeg)

![](_page_32_Picture_10.jpeg)

![](_page_32_Picture_11.jpeg)

451 VIRGINA AVENUE. TWO STORIES OVER GARAGE

451 VIRGINIA AVENUE (NEIGHBOR TO THE WEST) 2 STORIES OVER GARAGE

![](_page_32_Picture_17.jpeg)

![](_page_32_Figure_18.jpeg)

![](_page_32_Picture_19.jpeg)

![](_page_33_Picture_0.jpeg)

![](_page_33_Picture_1.jpeg)

![](_page_33_Picture_2.jpeg)

ARBOR AT SOUTH FACADE. REFER TO ELEVATION DRAWINGS.

![](_page_33_Picture_4.jpeg)

![](_page_33_Picture_9.jpeg)

LIFT SLIDE PATIO DOORS BY MARVIN. CUSTOM SIZE AND STYLE AS SHOWN ON ELEVATION DRAWINGS.

![](_page_33_Picture_11.jpeg)

COLORED, SCORED CONCRETE DRIVEWAY. COLOR COACHELLA SAND. (TBD)

![](_page_33_Picture_13.jpeg)

EXTERIOR STAIR RAILINGS. COLOR: WROUGHT IRON BY BENJAMIN MOORE

![](_page_33_Picture_15.jpeg)

![](_page_33_Picture_16.jpeg)

![](_page_33_Picture_17.jpeg)

CUSTOM GARAGE DOORS. SEE ELEVATIONS

![](_page_33_Figure_23.jpeg)