



# NEW SINGLE FAMILY RESIDENCE

## 445 VIRGINIA AVENUE, SAN MATEO, CA 94402-2235

### PROJECT DIRECTORY:

OWNER:  
JOSH SMITH AND LAEL CULINER  
445 VIRGINIA AVENUE  
SAN MATEO, CA  
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joshsmith218@gmail.com

ARCHITECT:  
SHERRY SCOTT ARCHITECT, INC.  
1784 REVERE AVENUE  
SAN FRANCISCO, CA 94124  
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sherry@sls-architect.com

LANDSCAPE ARCHITECT:  
MICHAEL CALLAN LANDSCAPE ARCHITECT  
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SAN MATEO, CA 94402  
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STRUCTURAL ENGINEER:  
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DOLMEN ENGINEERS  
2595 MISSION ST, STE 200  
SAN FRANCISCO, CA 94110  
415.409.9200  
diarmuid@dolmen-engineers.net

CIVIL ENGINEER:  
CLIFFORD BECHTEL  
BECHTEL AND ASSOCIATES  
1321 254TH PLACE, SE  
SAMMAMISH, WA 98075  
650.333.0103  
cliffbechtel1@comcast.net

GEOTECH ENGINEER:  
ROCKRIDGE GEOTECHNICAL  
270 GRAND AVENUE  
OAKLAND, CA 94610  
CRAIG SHEILDS  
510.420.5738  
csshields@rockridgegeo.com

### DRAWING LIST:

A0.1 COVER SHEET  
A0.2 RENDERED VIEWS  
A0.3 NEIGHBORHOOD CONTEXT MAP  
A0.4 NEIGHBORHOOD CONTEXT PHOTOS  
A0.5 NEIGHBORHOOD CONTEXT PHOTOS  
A0.6 NEIGHBORHOOD CONTEXT PHOTOS  
A0.7 NEIGHBORHOOD CONTEXT PHOTOS  
A0.8 NEIGHBORHOOD CONTEXT PHOTOS  
A0.9 NEIGHBORHOOD CONTEXT PHOTOS  
A0.10 NEIGHBORHOOD CONTEXT PHOTOS

S-1 SURVEY  
L1.0 LANDSCAPE PLAN  
L1.5 LANDSCAPE DETAIL SHEET  
L2.0 IRRIGATION PLAN / WELO CALCULATIONS  
L2.5 IRRIGATION DETAIL SHEET  
L3.0 OUTDOOR LIGHTING PLAN  
L6.0 TREE PROTECTION / ARBORIST REPORT  
C-1.0 GRADING AND DRAINAGE PLAN  
C-1.1 UTILITY PLAN

A1.1 ARCHITECTURAL SITE PLAN  
A1.2 WINDOW ADJACENCY DIAGRAMS  
A2.0 EXISTING PLANS (FOR DEMOLITION)  
A2.1 GROUND AND UPPER FLOOR PLANS  
A2.2 BASEMENT AND ROOF PLANS  
A2.3 AREA CALCULATIONS (PLANS)  
A3.0 EXISTING ELEVATIONS (FOR DEMOLITION)  
A3.1 ELEVATIONS  
A3.2 ELEVATIONS  
A3.3 BUILDING SECTIONS  
A3.4 BUILDING SECTIONS  
A3.5 BUILDING SECTIONS  
A3.6 COLOR ELEVATIONS  
A3.7 NEIGHBORHOOD CONTEXT  
A3.8 MATERIALS BOARD

### PROJECT DESCRIPTION:

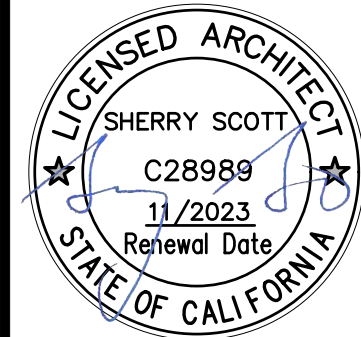
THIS PROJECT PROPOSES A NEW, SINGLE-FAMILY RESIDENCE AT 445 VIRGINIA AVENUE IN SAN MATEO. THE EXISTING 2,164 SF HOME WILL BE DEMOLISHED AND REPLACED WITH A NEW 3,929 SF HOME INCLUDING AN ATTACHED ADU. THE NEW RESIDENCE IS DESIGNED TO COMPLY WITH THE SAN MATEO ZONING CODE INCLUDING HEIGHT LIMITS, DAYLIGHT PLANE RESTRICTIONS, FLOOR AREA RATIO AND PARKING. OFF STREET PARKING FOR 3 INDEPENDENTLY ACCESSIBLE VEHICLES IS PROVIDED IN GARAGE. THE NEW, TWO STORY RESIDENCE WILL INCLUDE 4 BEDROOMS, AN OFFICE, 5 BATHROOMS, LIVING, DINING, AND KITCHEN ROOMS. NEW LANDSCAPE INCLUDES NEW PLANTING, REAR YARD PATIO INCLUDING OUTDOOR KITCHEN, NEW FRONT STEPS AND PLANTERS.

PROJECT ADDRESS: 445 VIRGINIA AVENUE  
SAN MATEO CA, 94402-2235  
APN: 034-072-060  
ZONING CLASSIFICATION: R1-B (RESIDENTIAL)  
LOT AREA: 8,605 SF  
FLOOR AREA RATIO: .5 FOR 6,000 SF, THEN .2 FOR ADDITIONAL  
MAX. ALLOWBLE FLOOR AREA: 3,521 SF, NOT INCLUDING ADU

FLOOR AREAS:	EXISTING	PROPOSED
BASEMENT GARAGE	417.0	591.0
BASEMENT FLOOR OTHER	118.3	436.6
TOTAL BASEMENT	535.3 SF	1,027.6 SF
FIRST FLOOR	2,164.3	1,690.1
SECOND FLOOR	0	1,830.4
COVERED PATIOS	24.5	0
DETACHED STRUCTURE	0	0
ADU	0	408.1
FRONT PORCH ALLOWANCE	(24.5)	(30.5)
TOTAL FLOOR AREA:	2,164.3 SF	3,928.6 SF

FLOOR AREA FOR PARKING DETERMINATION: 3,520.5 SF  
TOTAL GARAGE PARKING SPACES PROVIDED: 3 (3 REQUIRED)  
EXISTING STRUCTURE TO BE DEMOLISHED: 100%  
CUBIC YARD OF SOIL DISTURBANCE: APPROX. 515 CU/YARDS

SHERRY L SCOTT  
ARCHITECT



445 VIRGINIA AVENUE  
SAN MATEO, CALIFORNIA

### ISSUE HISTORY

01	08.01.22	PLANNING

### COVER SHEET

A0.1

CURRENT ISSUE  
08.01.2022





VIEW FROM NORTHEAST



VIEW FROM NORTHWEST

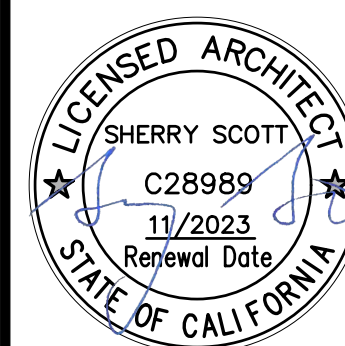


VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

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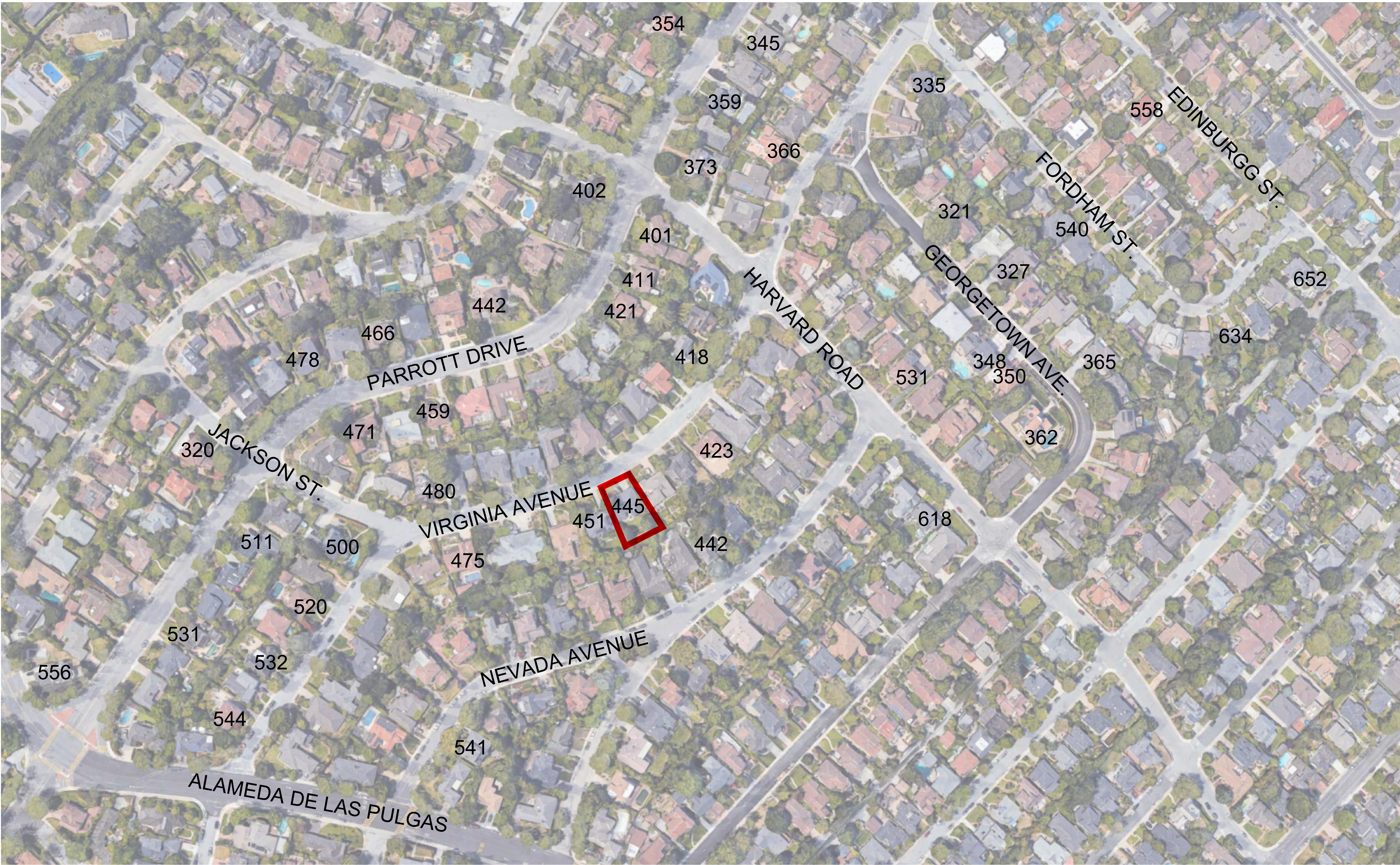
445 VIRGINIA AVENUE  
SAN MATEO, CALIFORNIA

ISSUE HISTORY

01	08.01.22	PLANNING

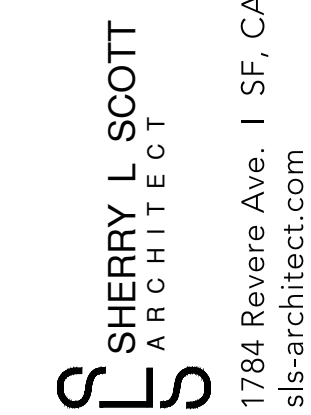
RENDERED VIEWS






BAYWOOD NEIGHBORHOOD - CHARACTER PHOTO MAP

F  
K  
J  
H  
G  
F  
E  
D  
C  
B  
A



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445 VIRGINIA AVENUE  
SAN MATEO, CALIFORNIA

ISSUE HISTORY

01	08.01.22	PLANNING

NEIGHBORHOOD  
CONTEXT  
KEY MAP

A0.3

CURRENT ISSUE  
08.01.2022





558 EDINBURGH - MODERN MEDITERRANEAN STYLE, 2 STORIES



321 GEORGETOWN - SPANISH STYLE, 2 STORIES OVER GARAGE



540 FORDHAM - TUDOR STYLE. 2 STORY OVER GARAGE



652 FORDHAM - COLONIAL STYLE, 2 STORIES

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445 VIRGINIA AVENUE  
SAN MATEO, CALIFORNIA

ISSUE HISTORY

01	08.01.22	PLANNING

NEIGHBORHOOD  
CONTEXT  
PHOTOS

A0.4

CURRENT ISSUE  
08.01.2022





475 VIRGINIA - MODERN SPANISH STYLE, 2 STORIES



480 VIRGINIA - TUDOR STYLE, 2 STORIES



335 VIRGINIA - COLONIAL STYLE, 2 STORIES UPHILL



442 NEVADA - TUDOR STYLE, 2 STORIES WITH STEEP UPHILL

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ARCHITECT

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LICENSED ARCHITECT  
SHERRY SCOTT  
C289889  
11/2023  
Renewal Date  
STATE OF CALIFORNIA

445 VIRGINIA AVENUE  
SAN MATEO, CALIFORNIA

ISSUE HISTORY

01	08.01.22	PLANNING

NEIGHBORHOOD  
CONTEXT  
PHOTOS

A0.5  
CURRENT ISSUE  
08.01.2022





348 GEORGETOWN - MIDCENTURY, 2 STORIES OVER GARAGE



451 VIRGINIA - MIDCENTURY, 2 STORIES OVER GARAGE



459 PARROTT - MODERN SPANISH STYLE, 2 STORIES OVER GARAGE W/ STEEP UPHILL



373 PARROTT - COLONIAL STYLE, 3 STORIES WITH DORMERS

SHERRY L SCOTT  
ARCHITECT



445 VIRGINIA AVENUE  
SAN MATEO, CALIFORNIA

ISSUE HISTORY

01 08.01.22 PLANNING

NEIGHBORHOOD  
CONTEXT  
PHOTOS

A0.6

CURRENT ISSUE  
08.01.2022





634 FORDHAM - MODERN REMODEL AND ADDITION. 2 STORIES OVER GARAGE



366 VIRGINIA - SPANISH STYLE, 2 STORIES



478 PARROTT - COLONIAL STYLE, 2 STORIES



350 GEORGETOWN - SPANISH STYLE, 2 STORIES OVER GARAGE WITH STEEP UPHILL

ISSUE HISTORY

01	08.01.22	PLANNING

NEIGHBORHOOD  
CONTEXT  
PHOTOS





251 PARROTT - COLONIAL STYLE, 2 STORIES



544 VIRGINIA - MODERN MIDCENTURY STYLE, 2 STORIES



311 PARROTT - TUDOR STYLE, 2+ STORIES



532 VIRGINIA - TUDOR STYLE, 2 STORIES





327 GEORGETOWN - SPANISH STYLE, 2 STORIES



362 GEORGETOWN - NEOCLASSICAL STYLE, 2+ STORIES TOP OF HILL



365 GEORGETOWN - SPANISH STYLE, 2 STORIES



531 HARVARD - SPANISH COLONIAL STYLE, 2 STORIES





618 HARVARD - COLONIAL STYLE, 2 STORIES



320 JACKSON - SPANISH STYLE, 2 STORIES OVER GARAGE



500 JACKSON - TUDOR STYLE, 2+ STORIES



541 NEVADA - MODERN MEDITERRANEAN STYLE, 2 STORIES

ISSUE HISTORY

01	08.01.22	PLANNING

NEIGHBORHOOD  
CONTEXT  
PHOTOS



NOTE: All spot elevations and contour lines shown upon this drawing were established using the lid of this existing Storm Drain Manhole, Assumed Elev. = 100.00

AVENUE

25'

VIRGINIA

25'

SSMH  
Lid=115.05  
Inv.=109.12

SDMH  
Lid=100.00,  
assumed

Fire hydrant

Fire hydrant

SSMH  
Lid=100.60  
Inv.=95.04

BAYWOOD

SAN MATEO

APN: 034-072-070

14

27

28

12

29

APN: 034-072-050

16 MAPS 3 - 5

BLOCK 17

Existing 7 foot wide P.U.E.  
shown per 16 Maps 3-5  
San Mateo County Records.

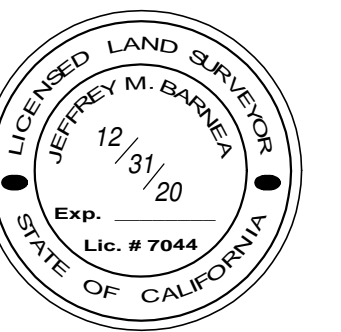
LEGEND

	Tree, as noted.
TC	Top of curb.
114.00;114'2	Spot elevation.
F/L	Flow line.
Conc.	Concrete.
TW / BW	Top / Base of wall.
— x —	Fence line, as noted.
SDMH	Storm drain manhole.
C. Basin	Catch basin.
AD Gr. =	Area drain, Grate Elevation.
GB	Grade break.
W.M.	Water meter.
Gnd.	Ground.
Inv.	Invert.
TFC	Top, face of curb.
FF	Finish floor.
Irr.	Irrigation.
Elect.	Electric.
— 122 —	Contour.
Meas.	Tie measurement.
C/L	Center line.
SSMH	Sanitary sewer manhole.

NOTES

- 1). This Topographic Survey Map was prepared from a ground surveys done by Jeffrey M. Barnea, PLS in May, 2011, March, 2020, and November, 2020.
- 2). Spot elevations and contours shown from an assumed benchmark established upon the lid of an existing Storm Drain Manhole in Virginia Ave., Elev. = 100.00 (see benchmark note above, at left). This manhole lid was also used for a benchmark per an earlier Topographic Survey Map for 429 Virginia Ave. dated April, 2007.
- 3). Unless noted otherwise, trees shown were located at the ground and trunk diameters measured at 4.5' above ground. Drilines were not measured at time of survey, and are depicted graphically in their approximate positions only. The existing house and garage were measured at the outside trim or stucco facing. Perpendicular or Radial (R) tie measurements (Meas.) are shown to the outside stucco facing or trim of the existing house, not to foundation lines.
- 4). Boundaries and the 7' wide P.U.E. are shown hereon directly from the "Baywood" subdivision map filed in 16 Maps 3 - 6, San Mateo County Records. This is not a record of survey boundary map. There may be other easements affecting this property not depicted upon this drawing. The area of Lot 13, Block 17 as calculated directly from the "Baywood" map is 8,605 s.f. +/-.
- 5). The final product delivered to owners Josh Smith and Lael Culliner were signed bond prints. An electronic CAD version of this Map may be provided to the owners or their associates upon request. Any changes, revisions or additions made to this Map without the consent and approval of Jeffrey M. Barnea, PLS, is not the responsibility of Jeffrey M. Barnea, as the owners have agreed to in writing.

Jeffrey M. Barnea 11 - 10 - 20  
Jeffrey M. Barnea, L.S. 7044 Date  
License expires 12-31-20



Topographic Survey Map		
Lands of Smith & Culliner 445 Virginia Ave. APN: 034-072-060		
San Mateo	San Mateo County	California
JEFFREY M. BARNEA, L.S. 7044 789 14TH AVE. MENLO PARK, CA 94025 PH/FAX (650) 261-1982		
SCALE: 1" = 8'	11-116	NOVEMBER, 2020

Rev. 5/4/20: Add measurements along north (N) and south (S) lines at 12" increments.  
Rev. 11/10/20: Add neighboring windows and heights, add SSMHs and Fire Hydrants.



NOTE: All spot elevations and contour lines shown upon this drawing were established using the lid of this existing Storm Drain Manhole, Assumed Elev. = 100.00

Fire hydrant

SSMH  
Lid=100.60  
Inv.=95.04

SDMH  
Lid=100.00, assumed

BAYWOOD

SAN MATEO

APN: 034-072-070

14

27

28

12

29

16 MAPS 3 - 5

BLOCK 17

APN: 034-072-050

APN: 034-072-220

APN: 034-072-200

APN: 034-072-210

GRADING AND DRAINAGE PLAN

1/8"=1'-0"

PRELIMINARY

GRAPHIC SCALE



( IN FEET )  
1 inch = 8 ft.

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS & SETBACKS WITH ARCHITECTURAL PLANS.
2. TOPOGRAPHIC INFORMATION PROVIDED BY JEFFREY BARNEA, LAND SURVEYOR, DATED NOVEMBER 10, 2020.
3. SLOPE PORCHES, LANDINGS AND TERRACES 2% AWAY FROM RESIDENCE.
4. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM THE HOUSE PERIMETER BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 5% AWAY FROM RESIDENCE.
5. CONTRACTOR TO CONTACT SOILS ENGINEER TO COORDINATE INSPECTIONS AT LEAST ONE WEEK PRIOR TO PENDING INSPECTIONS.
6. ALL GRADING AND TRENCH BACKFILL TO BE PERFORMED PER THE GEOTECHNICAL ENGINEERS' RECOMMENDATIONS. ALL FOUNDATION DRAIN SUBDRAINS TO BE INSTALLED PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND ALL INSTALLATIONS TO BE INSPECTED BY GEOTECHNICAL ENGINEER.
7. IT IS RECOMMENDED THAT AN AS-BUILT PLAN FOR THE DRAINAGE SYSTEM BE PREPARED AT THE COMPLETION OF CONSTRUCTION.
8. THE OWNER RECOGNIZES THAT THE DRAINAGE FACILITIES WILL NEED TO BE PERIODICALLY CLEANED OF DEBRIS DURING THE FUNCTIONAL LIFE OF THE SYSTEM.
9. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION.
10. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM.
11. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444, 48 HOURS PRIOR TO EXCAVATION.
12. FOR ADDITIONAL SITE LAYOUT INFORMATION SEE ARCHITECTURAL AND LANDSCAPE PLANS.
13. PRIOR TO CONSTRUCTING ANY IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY OR PUBLIC UTILITY EASEMENT (PUE) AND FOR UNDERGROUND UTILITIES, DRIVEWAY APRONS, SIDEWALKS, CURB DRAINS AND LANDSCAPING, CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY OF SAN MATEO.
14. CONTRACTOR SHALL ADHERE TO "BEST MANAGEMENT PRACTICES" (BMP's) GUIDELINES DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR STORING, USING, AND DISPOSING OF ALL HAZARDOUS MATERIALS, IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS. SEE CONSTRUCTION BMP'S CHECKLIST PLAN SHEET.
15. CONTRACTOR SHALL REVIEW AND UNDERSTAND GRADING AND DRAINAGE GUIDELINES SET FORTH IN THE GEOTECHNICAL REPORT PRIOR TO STARTING ANY SITE WORK.
16. CONTRACTOR SHALL ADHERE TO CAL OSHA STANDARD WHEN GRADING AND EXCAVATING.
17. ANY DAMAGE RIGHT OF WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB, GUTTER AND/OR PARKING STRIP SHALL BE REMOVED AND REPLACED, AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE.
18. CONTRACTOR/PERMITEE SHALL SCHEDULE INSPECTIONS WITH THE CITY AS REQUIRED BY PERMIT.
19. ALL GRADING FOR WHICH THE CITY OF SAN MATEO HAS REQUIRED A SOILS REPORT SHALL BE SUPERVISED, DURING THE PLACEMENT AND COMPACTION PERIOD, THE SOILS ENGINEER SHALL CERTIFY SUCH GRADING WORK, UPON COMPLETION OF THE WORK, IN WRITING AND PROVIDED TO CITY PRIOR TO FINAL SIGN-OFF.
20. CIVIL ENGINEER AND SOILS ENGINEER OF RECORD SHALL PROVIDE PROFESSIONAL INSPECTIONS WITHIN SUCH ENGINEER'S AREA OF TECHNICAL SPECIALTY PER SECTION 3317 OF UBC. IN THE COURSE OF FULFILLING THEIR RESPECTIVE DUTIES, THE ENGINEERS FIND THAT THE WORK IS NOT BEING DONE IN CONFORMANCE WITH HMC, UBC OR THE APPROVED GRADING AND DRAINAGE PLANS. THE DISCREPANCIES SHALL BE REPORTED IMMEDIATELY, IN WRITING, TO THE PERMITTED AND TO THE ENGINEERING DEPARTMENT. FINAL INSPECTION SHALL NOT BE SCHEDULED UNTIL THE CERTIFICATION LETTERS FOR THE CIVIL ENGINEER AND SOILS ENGINEER HAVE BEEN RECEIVED BY THE CITY.
21. CONTRACTOR SHALL TAKE EXTREME CARE AND PROTECT ALL EXISTING TREES TO REMAIN, AS REQUIRED BY THE LANDSCAPE PLAN. PROTECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT ARBORIST DIRECTIONS, AND SHALL BE INSPECTED BY THE ARBORIST PRIOR TO THE COMMENCEMENT OF GRADING ACTIVITIES.
22. ALL POOLS (INCLUDING SWIMMING, SPAS, HOT TUBS, AND FOUNTAINS) SHALL DRAIN TO EXISTING SEWER SYSTEM. ALL WATER FROM THESE SYSTEMS SHALL BE DECHLORINATED PRIOR TO BEING DISCHARGED TO THE MUNICIPAL SANITARY SEWER SYSTEM. ANY DISCHARGE OF POOL, SPA, HOT TUB, OR FOUNTAINS TO THE STORM DRAIN SYSTEM IS PROHIBITED.
23. GRADING SHALL OCCUR ONLY BETWEEN MAY 1ST AND SEPTEMBER 30TH, UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY ENGINEER IN CONJUNCTION WITH AN APPROVED EROSION AND SEDIMENT CONTROL PLAN. GRADING OPERATIONS SHALL BE ACCOMPLISHED ONLY BETWEEN THE HOURS OF 8:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY. NORMALLY SCHEDULED CONSTRUCTION ACTIVITIES SHALL ADHERE TO THE CITY'S NOISE ORDINANCE.
24. FAILURE TO COMPLY WITH ANY PERMIT CONDITION MAY RESULT IN A "STOP WORK" ORDER OF OTHER PENALTY.
25. ALL STORM DRAIN INLETS AND AREA DRAINS SHALL BE MARKED WITH THE WORKS "NO DUMPING: FLOWS TO BAY", AS REQUIRED BY THE CITY OF SAN MATEO.
26. ALL SITE STAIRS SHALL HAVE A MINIMUM WIDTH OF 3- FEET, WITH A MINIMUM RUN OF 10-INCHES AND MAXIMUM RISE OF 7.75-INCHES. HANDRAILS ARE REQUIRED FOR 4 OR MORE STEPS.
27. ALL EXISTING AND PROPOSED IMPROVEMENTS SHALL NOT EXCEED 3- FEET IN HEIGHT WITHIN THE 10-FOOT SIGHT TRIANGLE, WHERE THE RESIDENTIAL DRIVEWAY FIRST CONFORMS TO THE PUBLIC WALKWAY OR DRIVEWAY (MUNICIPAL CODE 27.84.010 (b) (1&2)). OWNER & CONTRACTOR SHALL MEET WITH PUBLIC WORKS ENGINEER, PRIOR TO PERFORMING WORK, TO CONFIRM REMOVAL LIMITS FOR COMPLIANCE.

EARTHWORK TABLE	CUT	FILL
HOUSE	200 CY	0 CY
DRIVEWAY	35 CY	0 CY
REAR/FRONT/SIDE YARD	280 CY	15 CY
TOTAL	515 CY	15 CY
EXPORT	500 CY	

EXCESS MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER. EARTHWORK QUANTITIES HAVE BEEN PROVIDED FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL ESTIMATE HIS/HER OWN QUANTITIES TO COMPLETE JOB PER CONTRACT WITH OWNER.

CLIFFORD BECHTEL  
AND ASSOCIATES, INC.  
Engineering and Project Management  
1321 25th Place, SE  
SALMON, WA 98075  
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cliffbechtel@comcast.net

52075  
CIVIL  
STATE OF CALIFORNIA

SMITH RESIDENCE  
445 VIRGINIA AVENUE  
SAN MATEO COUNTY  
San Mateo

CONTENTS:  
GRADING & DRAINAGE PLAN

DATE 06/23/22  
SCALE AS NOTED

REVISIONS:

DRAWN J.G.  
CHECKED C.B.  
JOB No. 2021754  
SHEET No.  
C-1.0  
OF 2 SHEETS

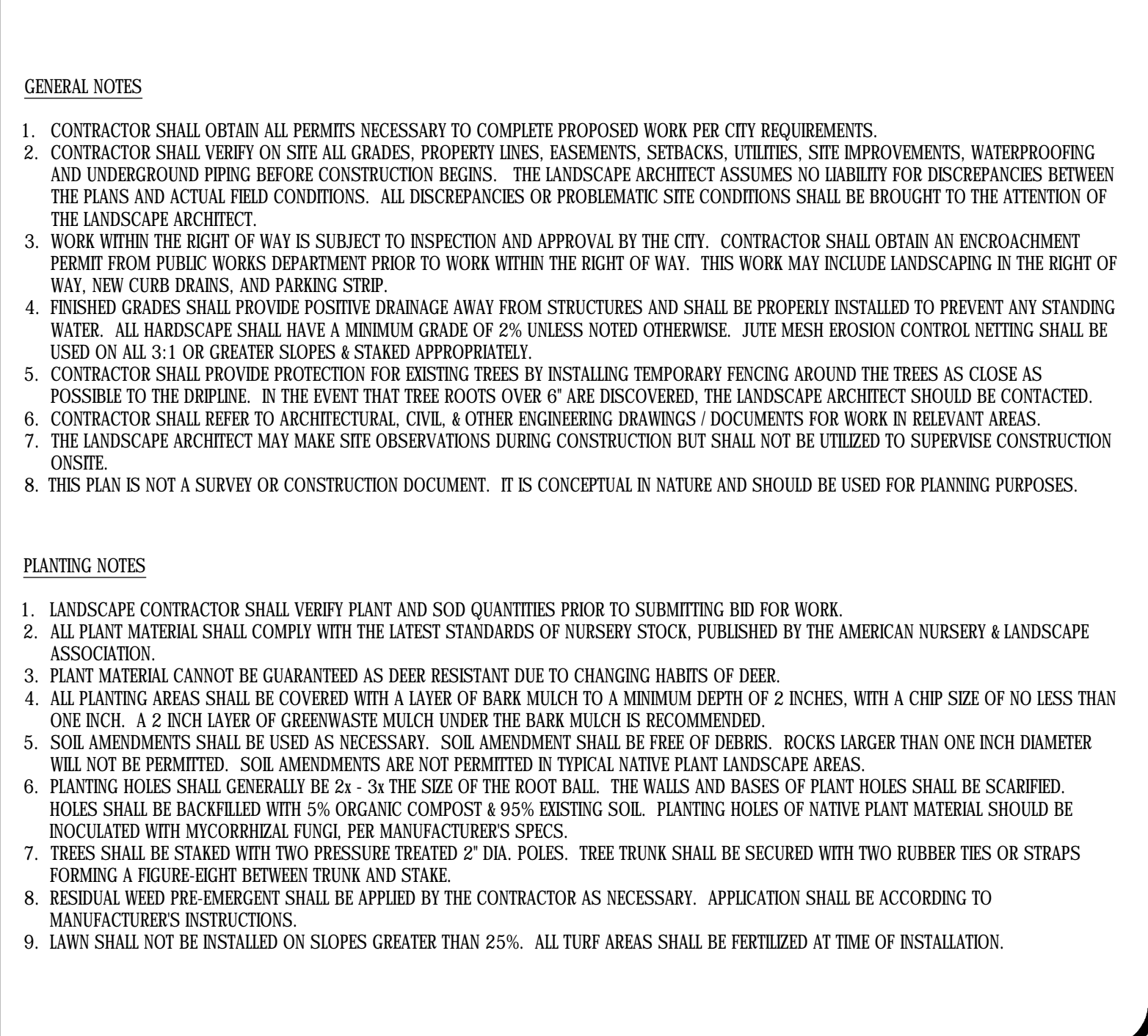
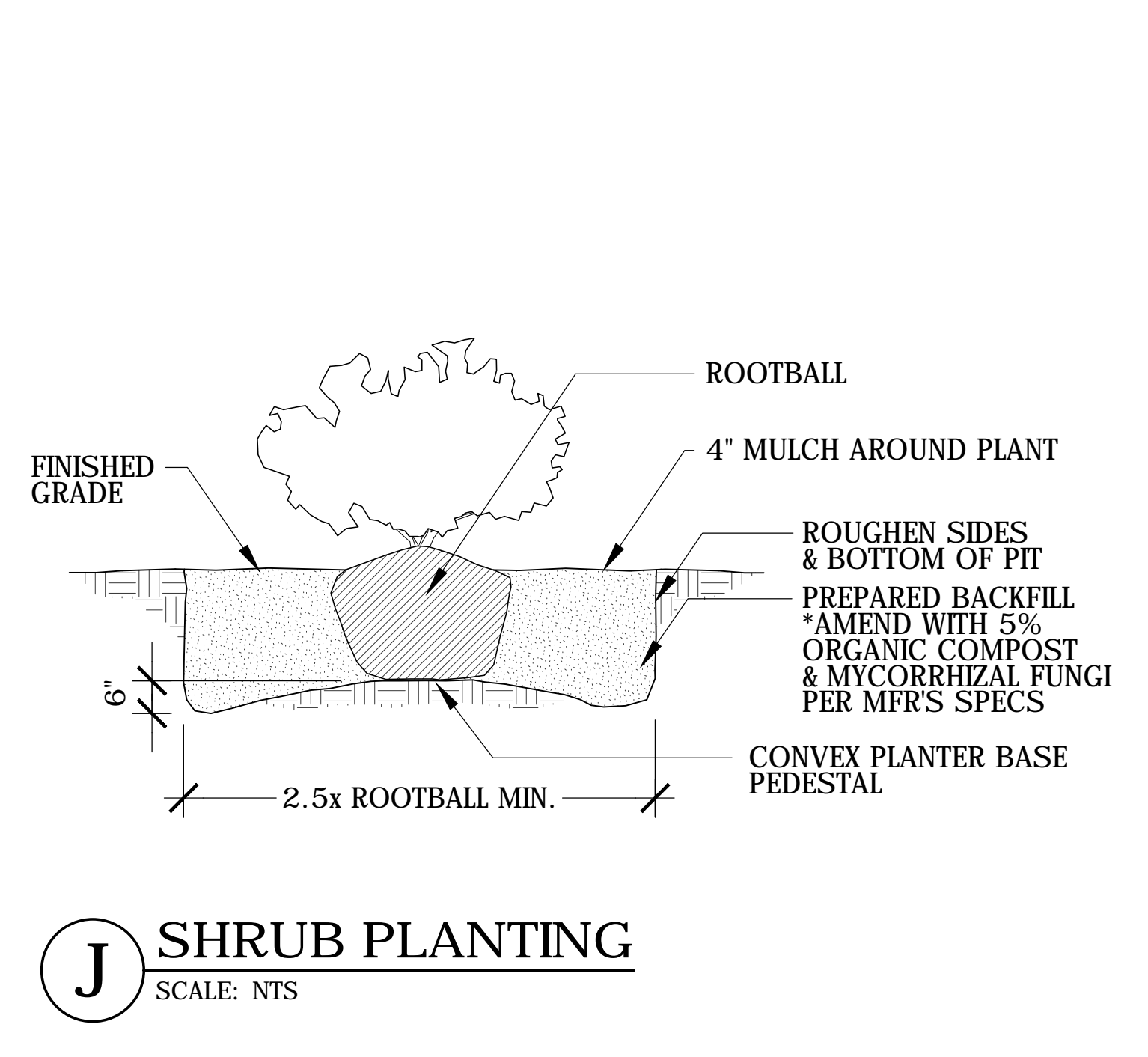
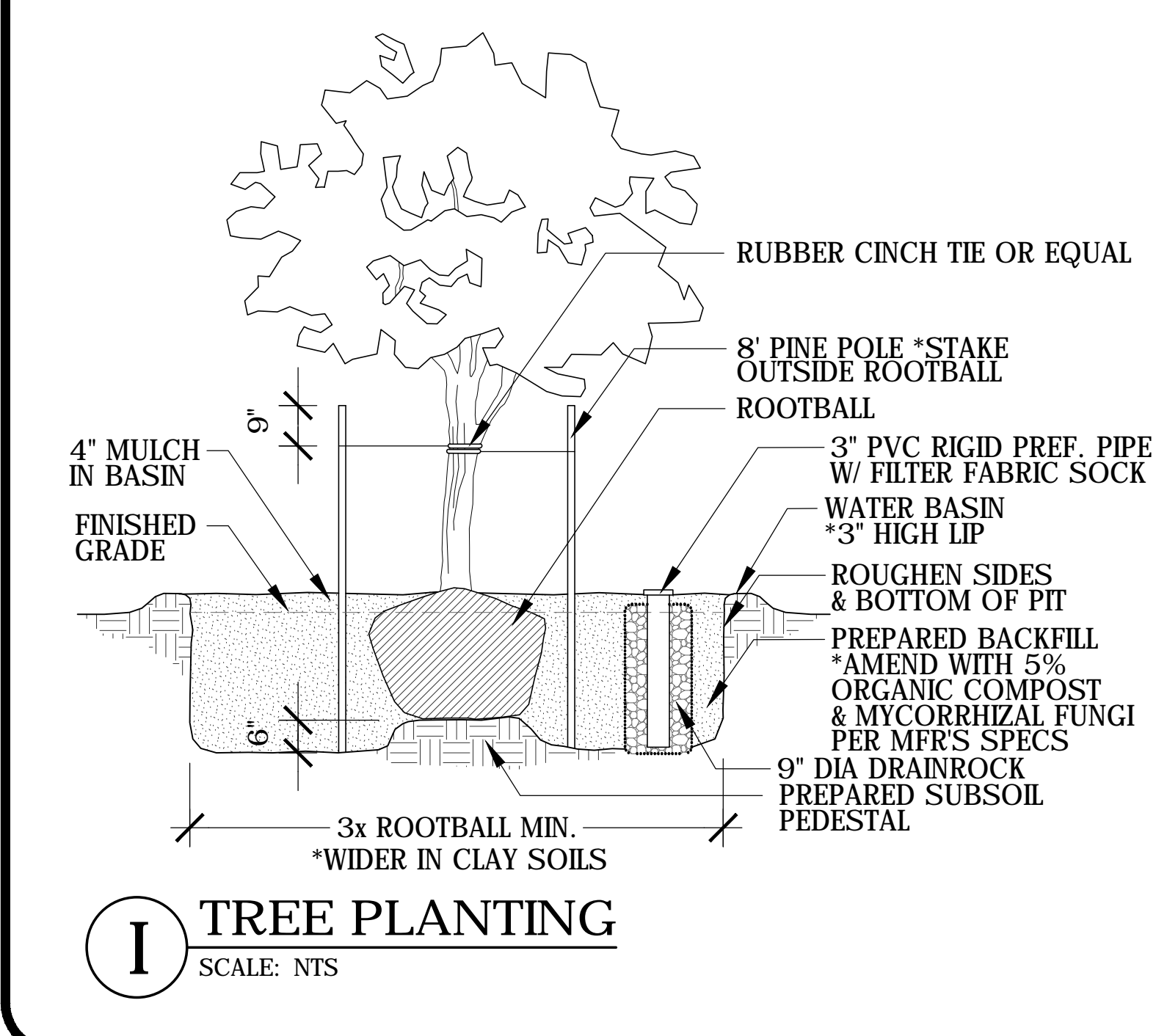
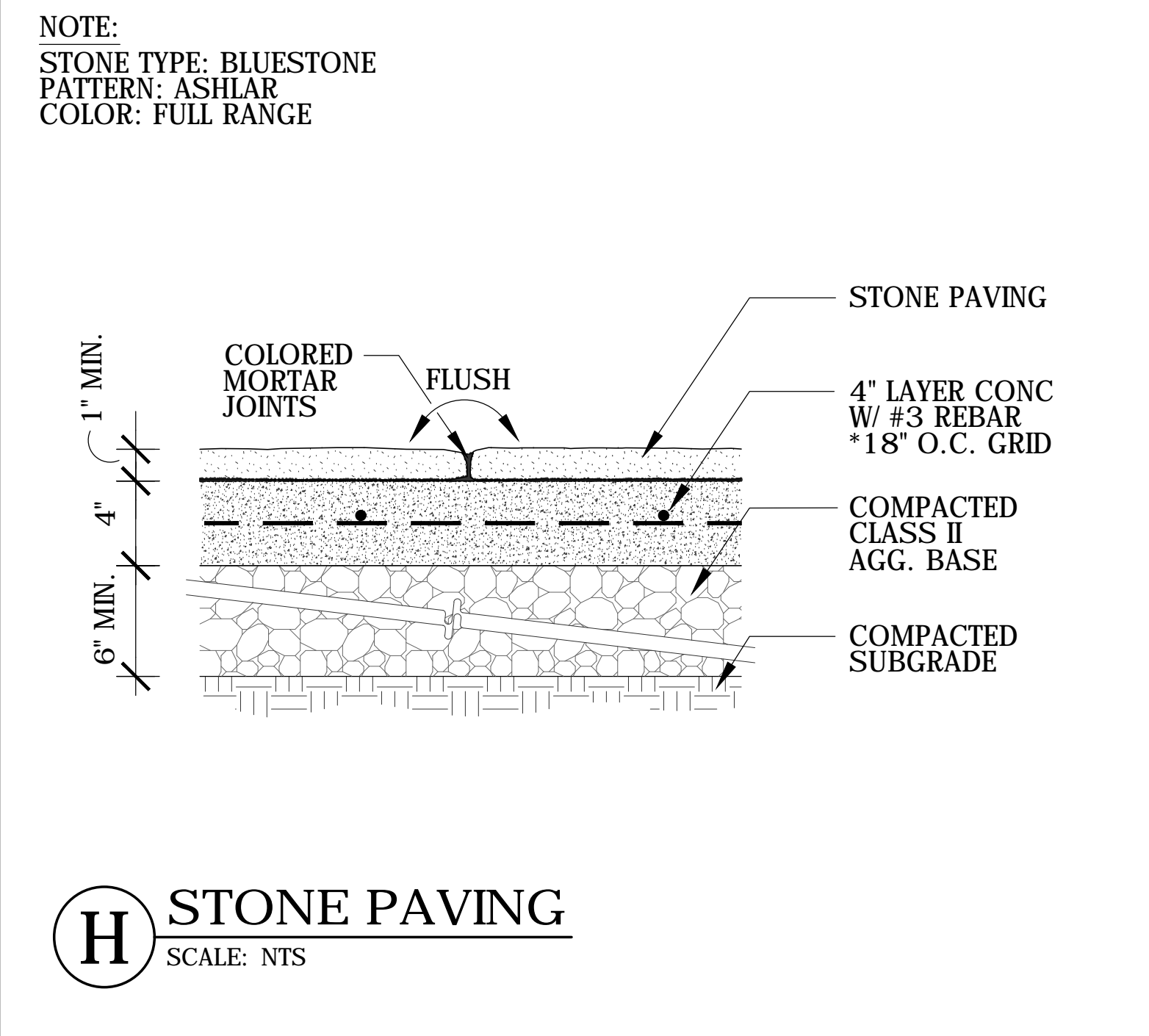
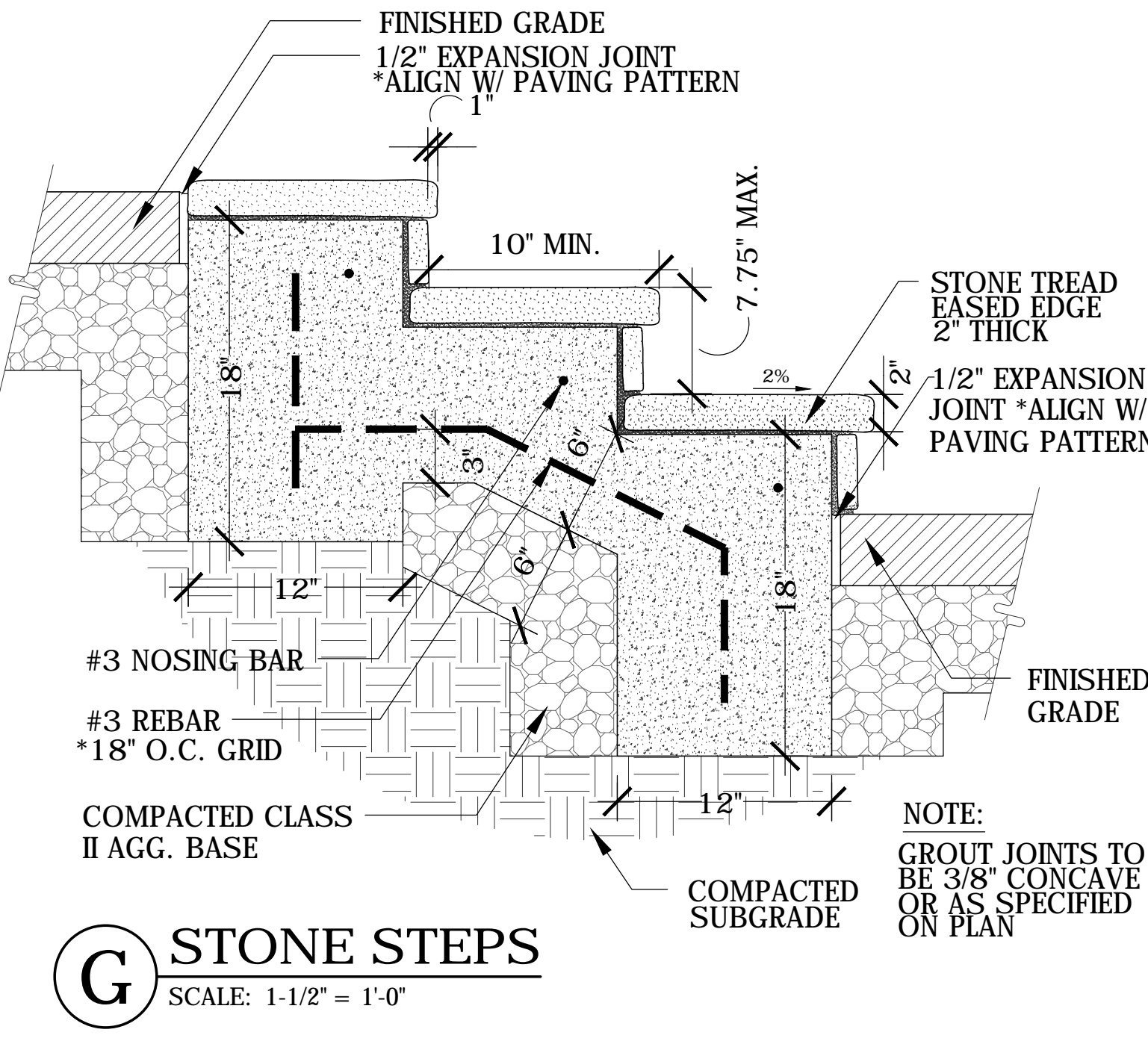
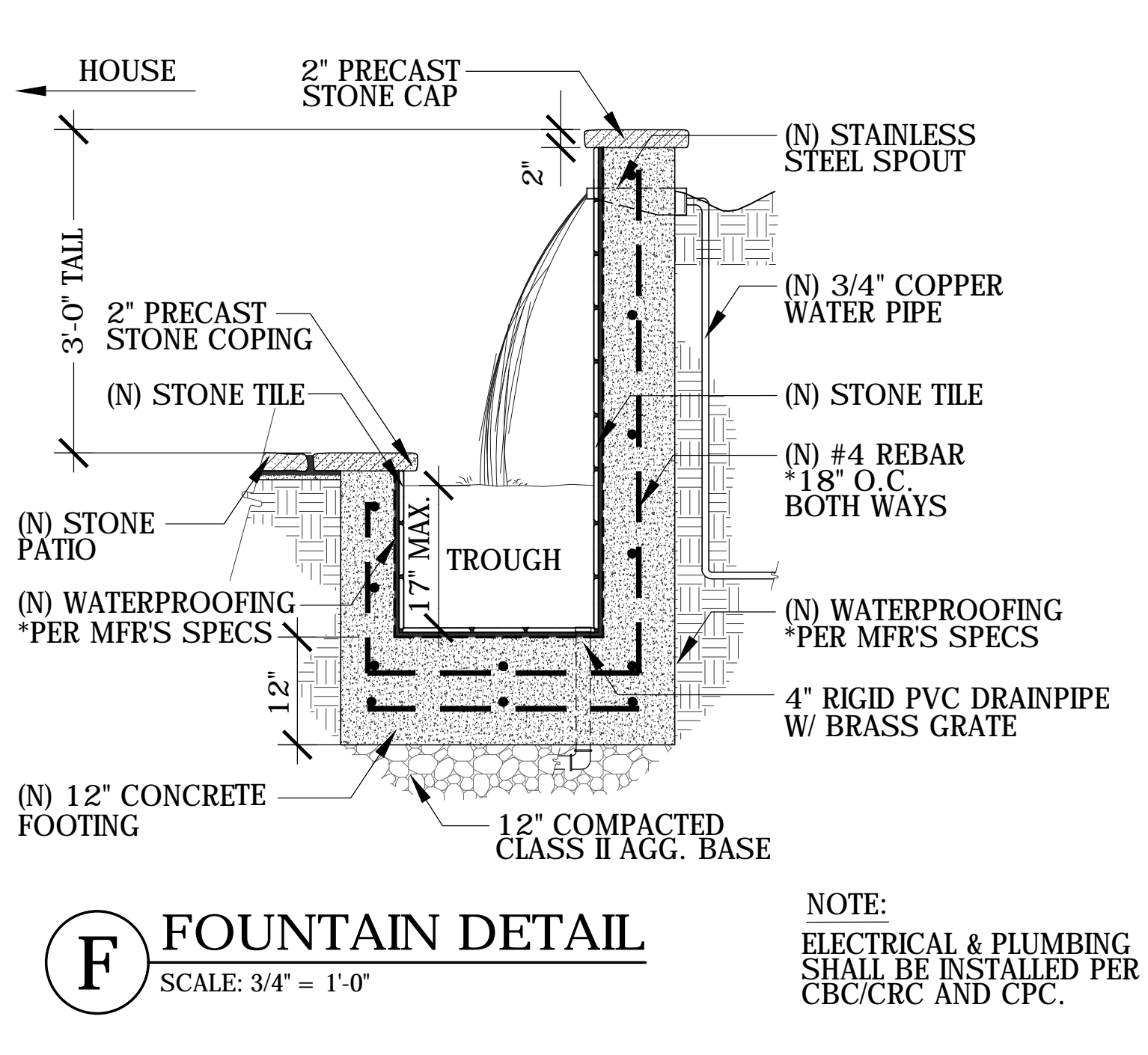
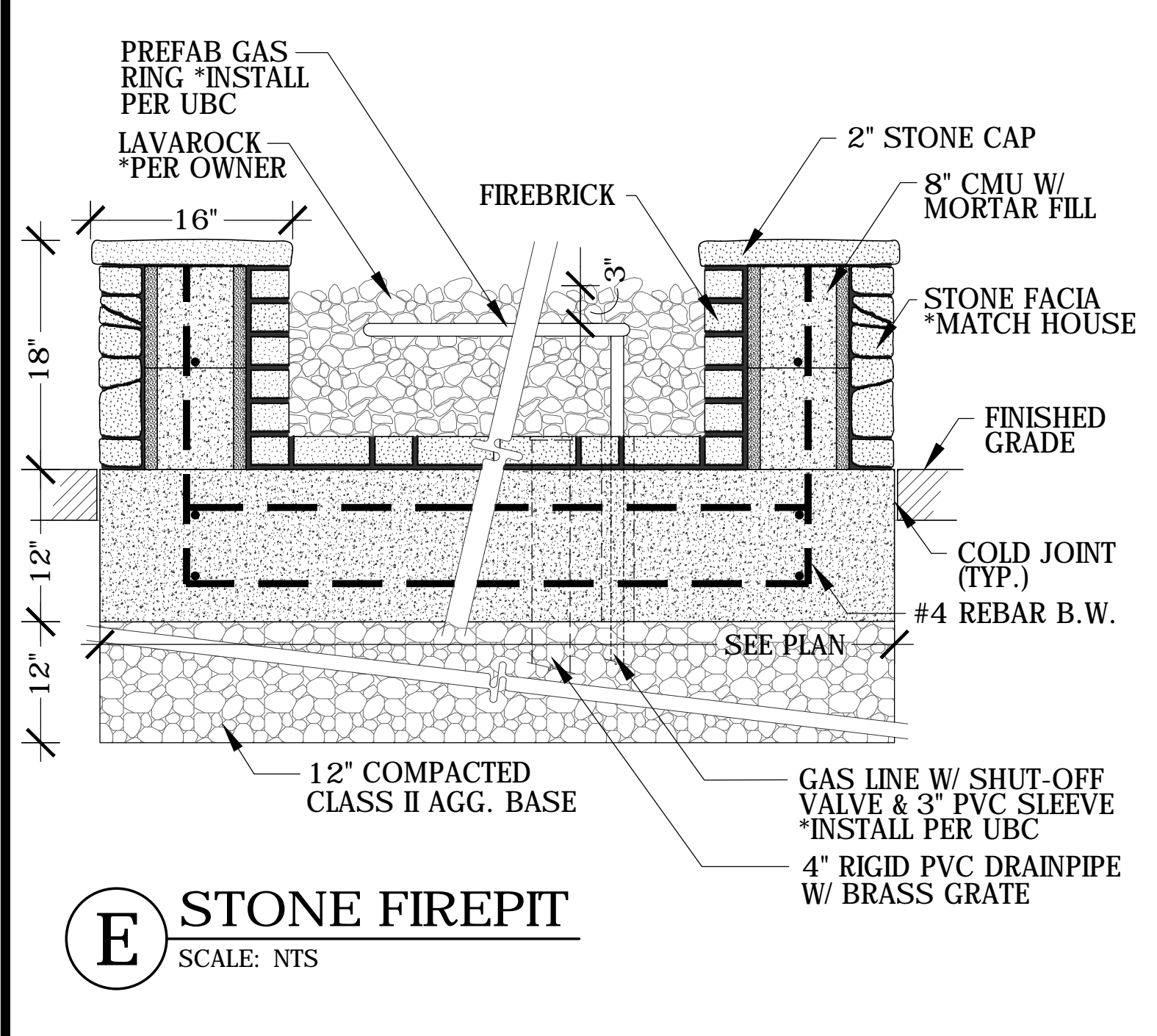
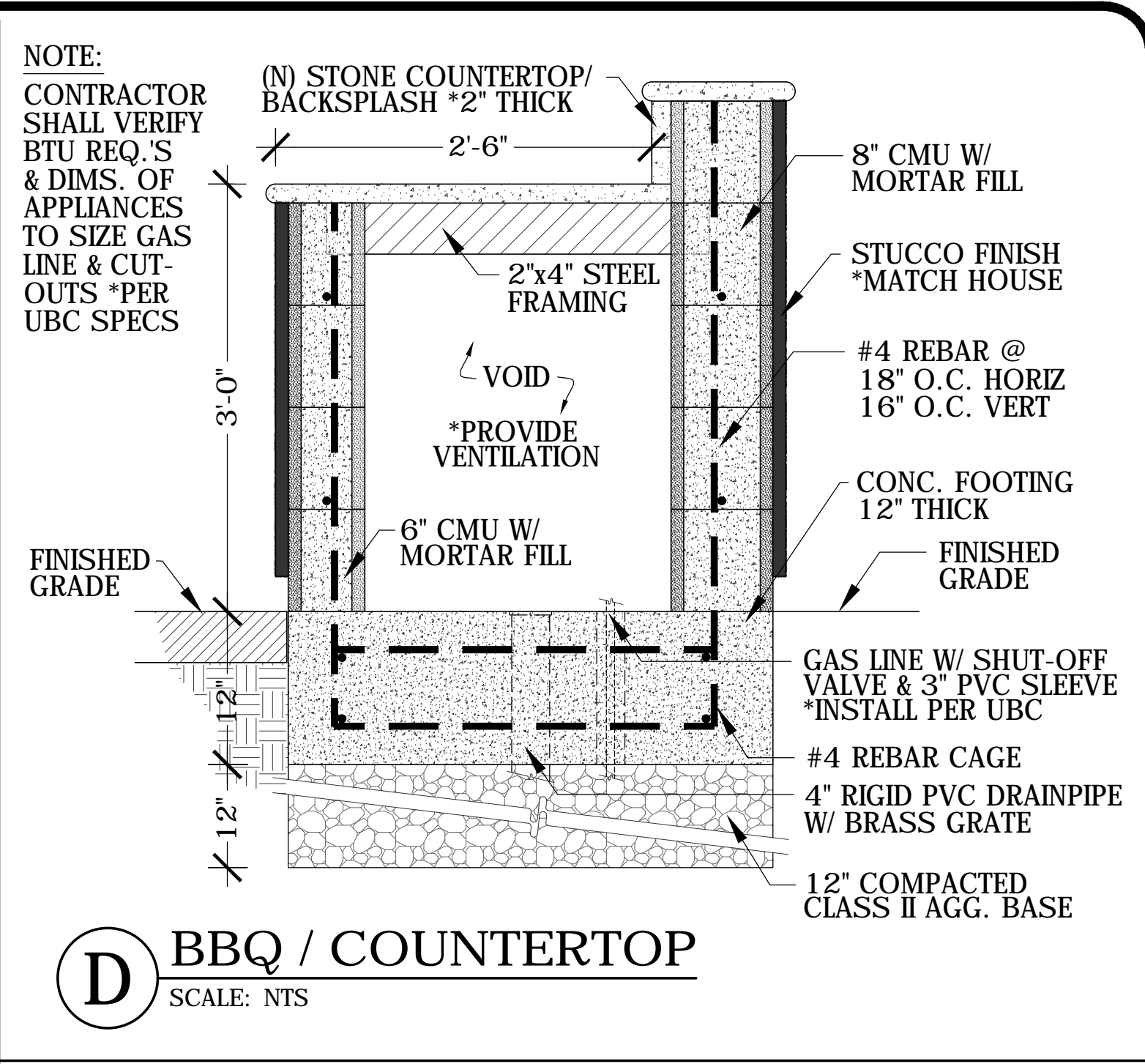
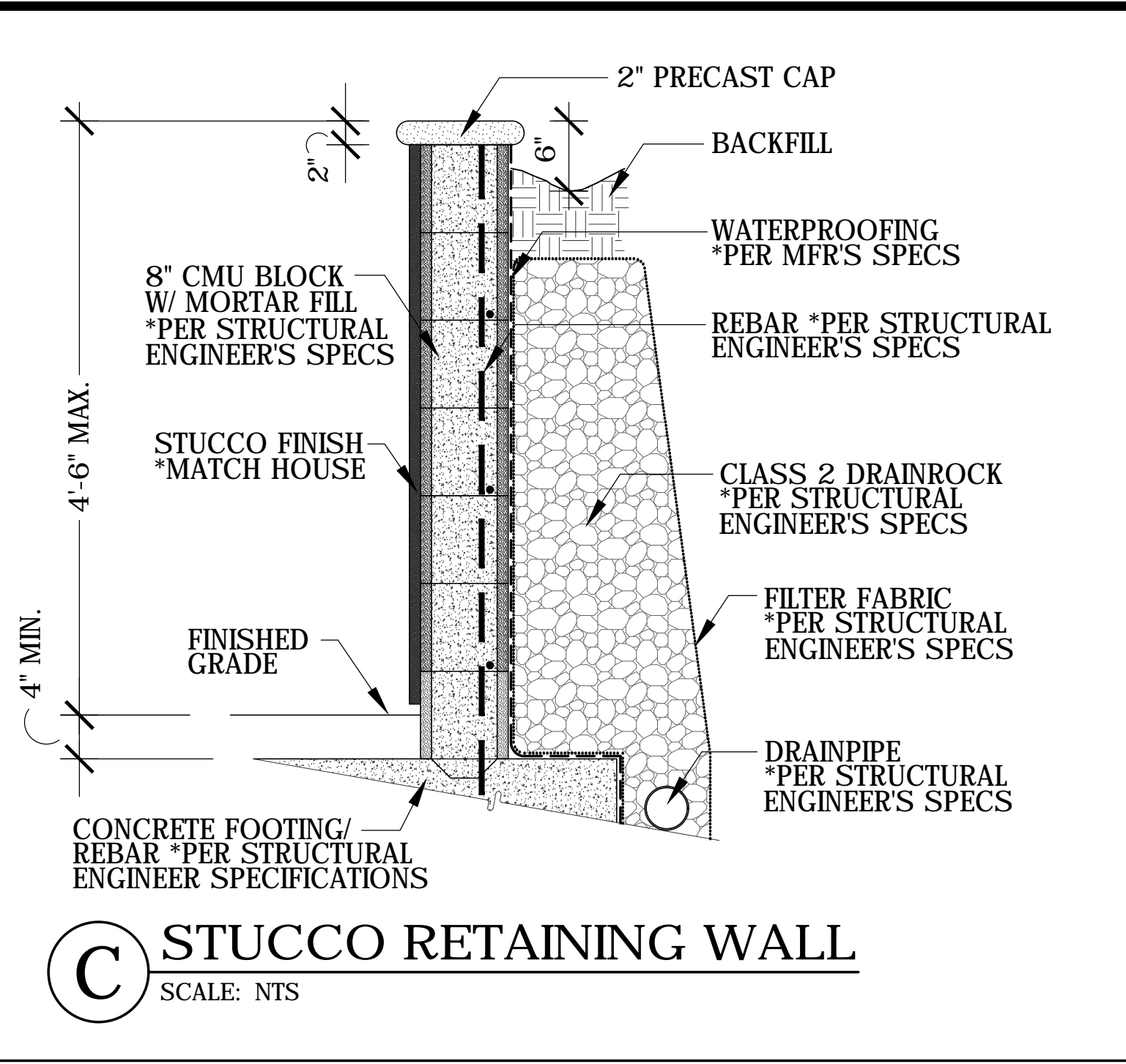
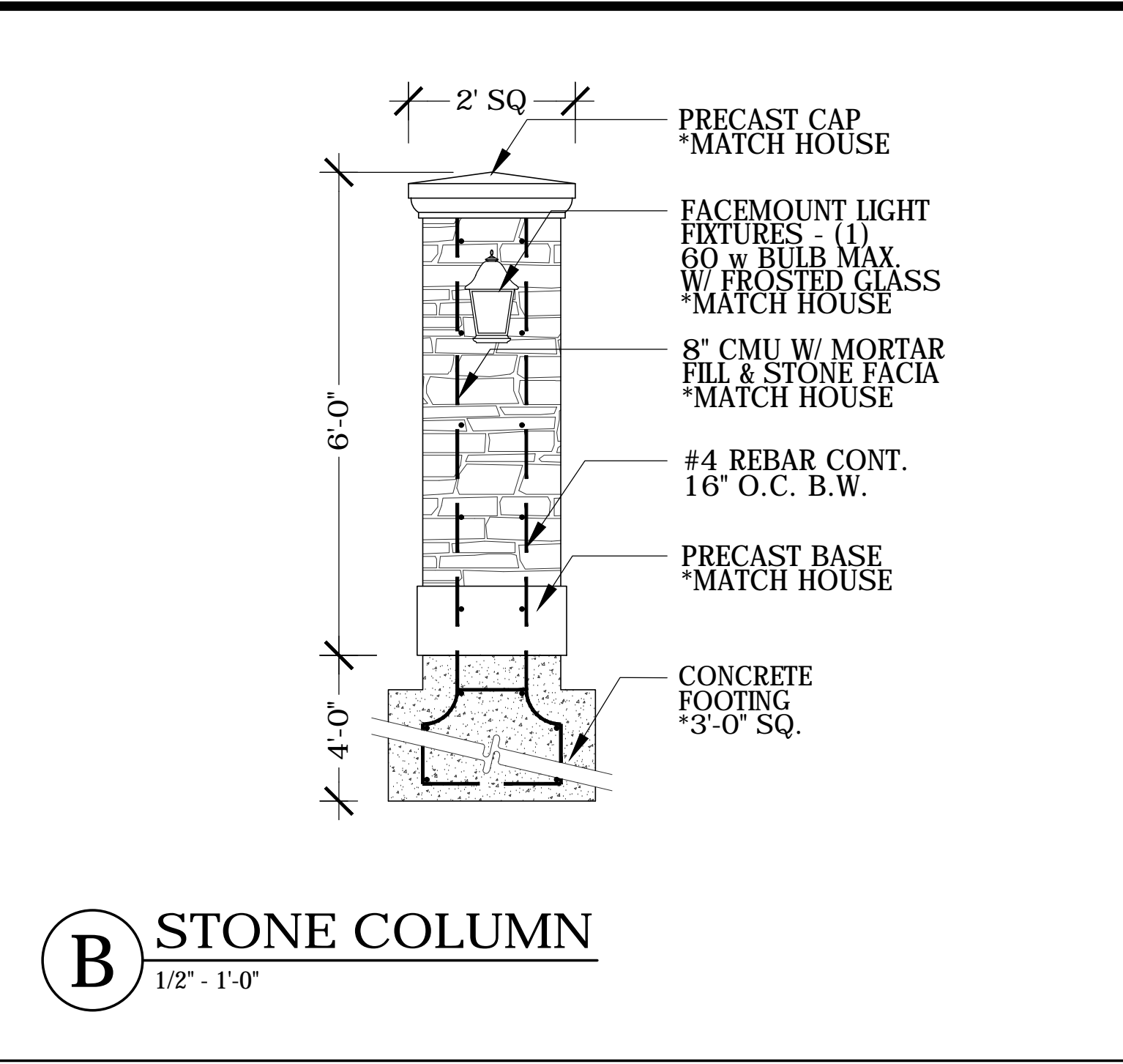
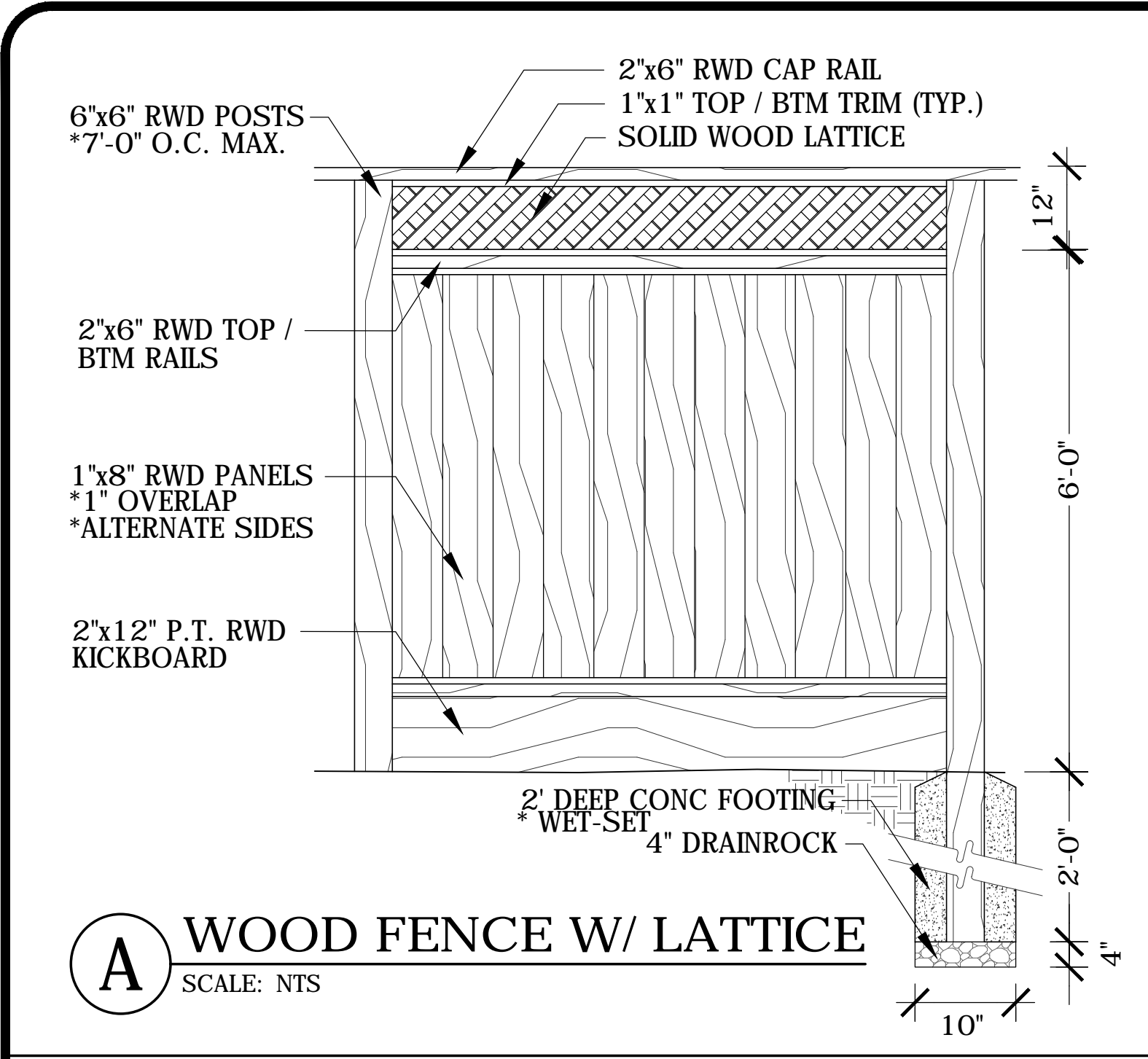














The City of San Mateo has adopted a [Water Conservation in Landscaping Ordinance](#) (SMMC 23.72) to ensure that all qualified development projects comply with the State of California's [Water Efficient Landscape Ordinance](#) (WELD). This ordinance was created to reduce water usage and ensure landscapes are constructed to a low for the efficient use of water.

This form will help you determine whether your project qualifies for the ordinance and connect you with the necessary forms to complete your application. Table 1 outlines the requirements for new construction<sup>1</sup> while Table 2 highlights the specifics for rehabilitated landscape<sup>2</sup> projects.

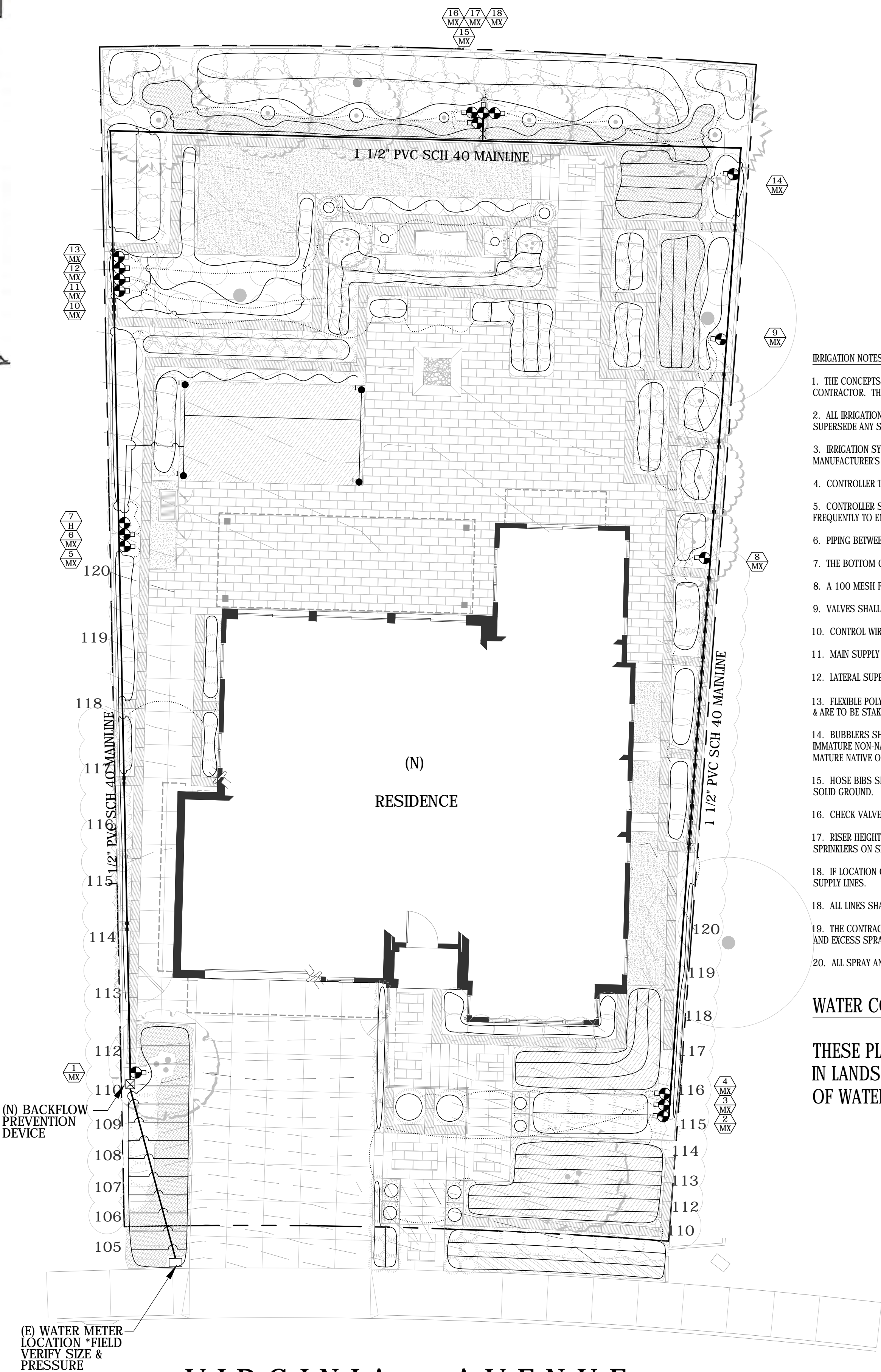
Table 1: New Construction Projects		
Landscape Area <sup>3</sup>	Guidance	Select
<500 square feet	The ordinance does not apply to your project.	<input type="checkbox"/>
500-2500 square feet	Submit the "Prescriptive Measures Form."	<input checked="" type="checkbox"/>
≥2500 square feet	Applicant must submit Full Landscape "Project Documentation Package."	<input type="checkbox"/>

Table 2: Rehabilitated Landscape Projects		
Landscape Area	Guidance	Select
<1000 square feet	The ordinance does not apply to your project.	<input type="checkbox"/>
1000-2500 square feet	Submit the "Prescriptive Measures Form."	<input type="checkbox"/>
≥2500 square feet	Applicant must submit Full Landscape Project Documentation Package.	<input type="checkbox"/>

Project Information  
Project Address: 445 Virginia Ave San Mateo, CA

Permit #: \_\_\_\_\_ Landscape Area (sq. ft.): 2,485 sq  
Name: Michael Callan  
Signature: [Signature] Date: 3/15/21

<sup>1</sup> "New construction" includes a new building with landscaping, or other new landscape such as a park, playground or recreational facility, or a new or renovated building with landscaping. Any new landscape project that requires a permit, such as a new building, playground, or other new landscape, must meet the requirements of this Ordinance and have a certified landscape area equal to or greater than 2,500 square feet.  
<sup>2</sup> "Landscape area" will be planting areas, turf areas, and other features in a landscape design plan subject to the minimum required water efficiency calculation. The calculation will take into account the type of landscape or landscape materials, including, but not limited to, turf, grass, shrubs, trees, or other plants, and other landscape features, such as water features, and other landscape features.



#### IRRIGATION NOTES

- THE CONCEPTS ON THE IRRIGATION PLAN ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL MAKE ADJUSTMENTS AS NECESSARY BASED ON ACTUAL SITE CONDITIONS.
- ALL IRRIGATION SYSTEM COMPONENTS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. MANUFACTURER'S SPECIFICATIONS SUPERSEDE ANY SPECS ON THESE PLANS / DETAILS.
- IRRIGATION SYSTEM SHALL USE PRESSURE REGULATORS AS NEEDED TO KEEP ALL COMPONENTS WITHIN OPTIMAL PSI RANGE, PER MANUFACTURER'S SPECS.
- CONTROLLER TYPE SHALL BE A SMART CONTROLLER. RAIN SENSORS AND / OR WEATHER STATIONS ARE RECOMMENDED.
- CONTROLLER SHALL BE SET TO IRRIGATE BETWEEN THE HOURS OF 8PM AND 10AM. CONTROLLER SHALL BE SET TO IRRIGATE DEEPLY AND LESS FREQUENTLY TO ENCOURAGE DROUGHT RESISTANT ROOT GROWTH. IRRIGATION SCHEDULE TO BE DETERMINED BY AUDITOR / CONTRACTOR.
- PIPING BETWEEN THE WATER METER AND A REDUCED PRESSURE ASSEMBLY SHALL BE BRASS OR COPPER TYPE 'K'.
- THE BOTTOM OF THE REDUCED PRESSURE ASSEMBLY SHALL BE INSTALLED MIN. 12" ABOVE THE GROUND.
- A 100 MESH FILTER SHALL BE INSTALLED ON THE MAINLINE BEFORE THE REDUCED PRESSURE ASSEMBLY.
- VALVES SHALL BE HOUSED IN WEATHER-PROOF PLASTIC BOXES, WITH LOCKABLE LIDS MARKED WATER.
- CONTROL WIRE CONNECTIONS SHALL BE MADE WITH WATERPROOF PLASTIC WIRE NUTS.
- MAIN SUPPLY LINES & FITTINGS SHALL BE PVC SCH 40, SIZE AS NOTED ON PLAN, BURIED 12" - 16" DEEP.
- LATERAL SUPPLY LINES & FITTINGS SHALL BE PVC SCH 40, SIZE TO BE DETERMINED BY CONTRACTOR, BURIED 9" - 12" DEEP.
- FLEXIBLE POLY PIPE TO BE 1/2" - 3/4", DETERMINED BY CONTRACTOR. ALL 1/2" FLEXIBLE DISTRIBUTION LINES TO BE A MAXIMUM OF 5'-0" IN LENGTH & ARE TO BE STAKED.
- BUBBLERS SHALL BE SPACED TO CREATE AN EVEN WET ZONE ABOUT THE SIZE OF THE CANOPY OF ALL NEW SHRUBS, NEW TREES & EXISTING IMMATURE NON-NATIVE TREES. BUBBLERS SHALL BE PLACED TO AVOID AS MUCH AS POSSIBLE IRRIGATING OAK TREES & ANY OTHER EXISTING, MATURE NATIVE OR DROUGHT TOLERANT PLANTS.
- HOSE BIBS SHALL BE MOUNTED ON GALVANIZED STEEL RISERS 30" ABOVE FINISHED GRADE. SECURE TO A #4 STEEL BAR DRIVEN 18" INTO SOLID GROUND.
- CHECK VALVES SHALL BE INSTALLED ON ALL DOWNHILL DRIPLINE & DISTRIBUTION LINE.
- RISER HEIGHT IN LAWN AREAS SHALL BE 4". RISER HEIGHT IN MEADOW AREAS AND OTHER LANDSCAPE AREAS SHALL BE 12". THE RISERS FOR SPRINKLERS ON SLOPES SHALL BE SET APPROXIMATELY PERPENDICULAR TO THE PLANE OF THE SLOPE.
- IF LOCATION OF A SUPPLY LINE INTERFERES WITH THE DRILLING OF THE PLANT HOLES, THE PLANT HOLES SHALL BE LOCATED AS TO CLEAR THE SUPPLY LINES.
- ALL LINES SHALL BE THOROUGHLY FLUSHED OUT PRIOR TO ATTACHMENT OF VALVES, SPRINKLERS, EMITTERS, & OTHER TERMINAL FITTINGS.
- THE CONTRACTOR SHALL MAKE FINAL ADJUSTMENTS TO THE IRRIGATION SYSTEM TO ENSURE PROPER COVERAGE AND PREVENT WATER RUN-OFF AND EXCESS SPRAY.
- ALL SPRAY AND DRIP ZONES TO BE MIN. 5'-0" AND PREFERABLY 10'-0" AWAY FROM OAK TREE TRUNKS.

#### WATER CONSERVATION IN LANDSCAPING ORDINANCE COMPLIANCE

THESE PLANS COMPLY WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

## IRRIGATION LEGEND

SYM	DESCRIPTION	PSI	GPM	REMARKS
	IRRIGATION METHOD (SPY: SPRAY DRP: DRIP BUB: BUBBLER SUB: SUB-SURFACE)			
	WATER USE (VL: VERY LOW L: LOW M: MEDIUM H: HIGH MX: MIXED)			
	WEATHERMATIC SMARTLINE SERIES CONTROLLER	-	-	W/ WEATHER STATION
	FESCO 825Y REDUCED PRESSURE ASSEMBLY	175 max.	-	W/ SHUT-OFF VALVES
	SHUT-OFF VALVE	60-100	-	BRASS BALL VALVE
	HOSEBIB	60-100	-	30" TALL BRASS LINE & FIXTURE
	IRRITROL 100 SERIES CONTROL VALVE	60-100	-	W/ GLOBE VALVE
	FILTER / PRESSURE REGULATOR	-	-	AS NEEDED PER MFR'S SPECS
	HUNTER MPR40 BODY W/ MP ROTATOR SERIES	30-55	.07-2.63	(C)-CORNER, (1)-1000 etc.
	RAINBIRD XERI-BUBBLER SPIKE *NOT SHOWN	15-30	.02-.22	AS NEEDED, SEE DETAIL
	PVC SCH 40 MAINLINE	60-100	-	SEE PLAN FOR SIZING
	PVC SCH 40 LATERAL PIPING	30-55	-	SIZING TBD BY CONTRACTOR
	NETAFIM TECHLINE CV DRIPLINE	-	-	SIZING TBD BY CONTRACTOR
	NETAFIM TECHLINE CV (SUBSURFACE)	10-30	-	INSTALL PER MFR'S SPECS
	PVC SCH 40 SLEEVING	-	-	UNDER ALL PAVING / WALLS

OUTDOOR WATER USE EFFICIENCY CHECKLIST			
RESIDENTIAL OUTDOOR WATER USE EFFICIENCY CHECKLIST			
To Be Completed by Applicant			
I hereby certify that the project meets the requirements of the Water Conservation in Landscaping Ordinance.			
Signature: <u>Michael Callan</u> Date: <u>3/15/21</u>			
Project Information			
Project Name: <u>SMITH RESIDENCE</u> Project Address: <u>445 Virginia Ave</u> Project Area (sq. ft. or acre): <u>2,485</u> # of Units: <u>325</u> # of Floors: <u>2100</u>			
Project Description: <u>SMITH RESIDENCE</u>			
Project Completion: <u>7/31/2022</u>			
Plant Material			
Turf			
Hydrozones			
Mulch			
Irrigation System			
Watering			

OUTDOOR WATER USE EFFICIENCY CHECKLIST			
Swimming Pools / Spas			
Water Features			
Documentation			
Audit			
Additional			
Materials Received and Reviewed:			
Date Reviewed:			
Date Resubmitted:			
Watering			
Comments:			

# IRRIGATION PLAN

SCALE: 1/8" = 1'-0"

#### REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	3/15/21
2	ISSUED FOR PERMIT	3/15/21
3	ISSUED FOR PERMIT	3/15/21
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5	ISSUED FOR PERMIT	3/15/21
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100	ISSUED FOR PERMIT	3/15/21

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Fax: 650-372-8119  
mike@michaelcallan.com

michaelcallan  
landscape architect



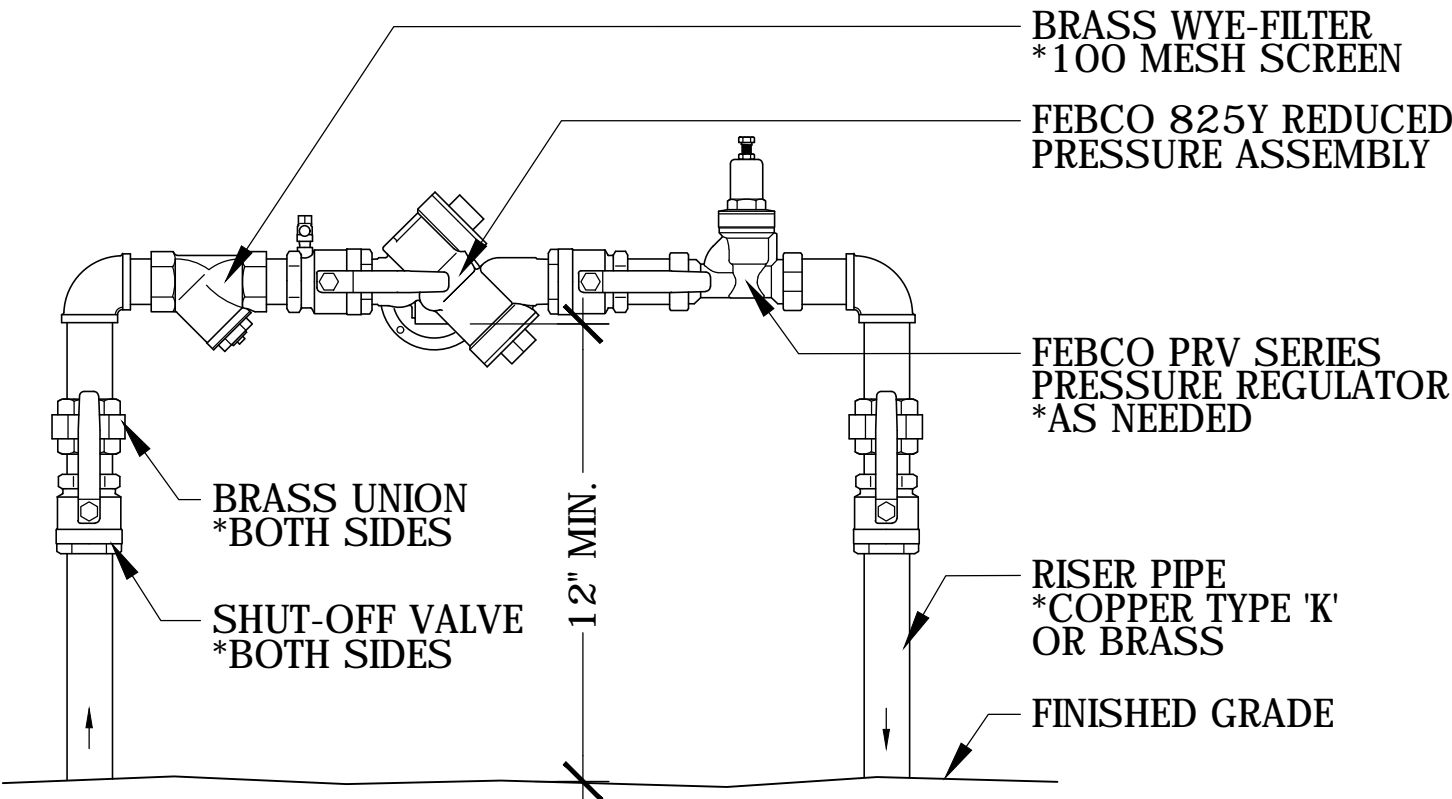
SMITH RESIDENCE  
445 VIRGINIA AVENUE  
SAN MATEO, CALIFORNIA

DATE: JUNE 2, 2022  
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SHEET NO.

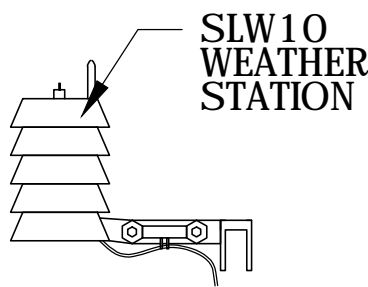
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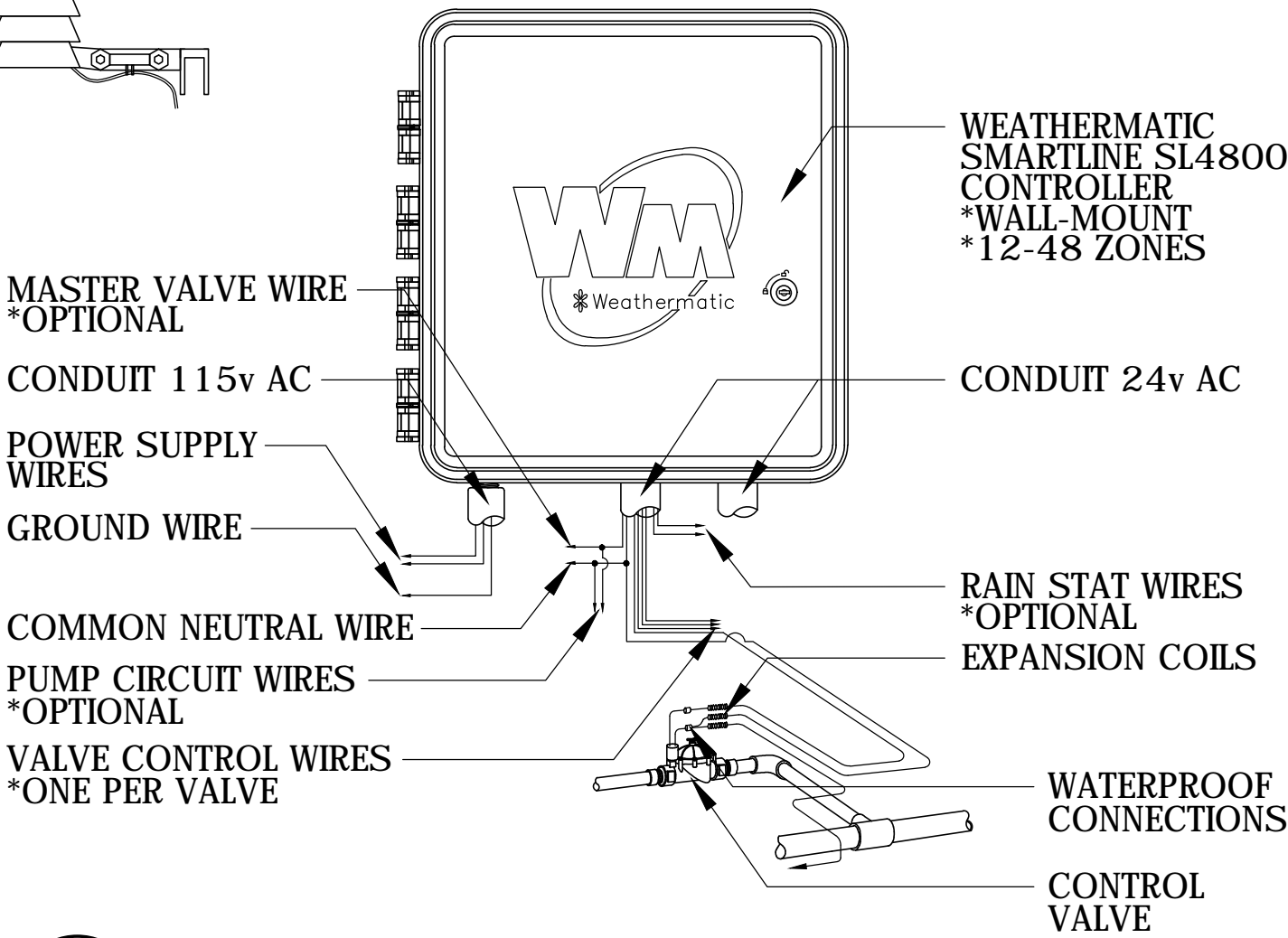
NOTE:  
REDUCED PRESSURE ASSEMBLY  
TO BE INSTALLED PER MFR'S  
SPECS & APPLICABLE CODES



**A** REDUCED PRESSURE ASSEMBLY  
SCALE: NTS

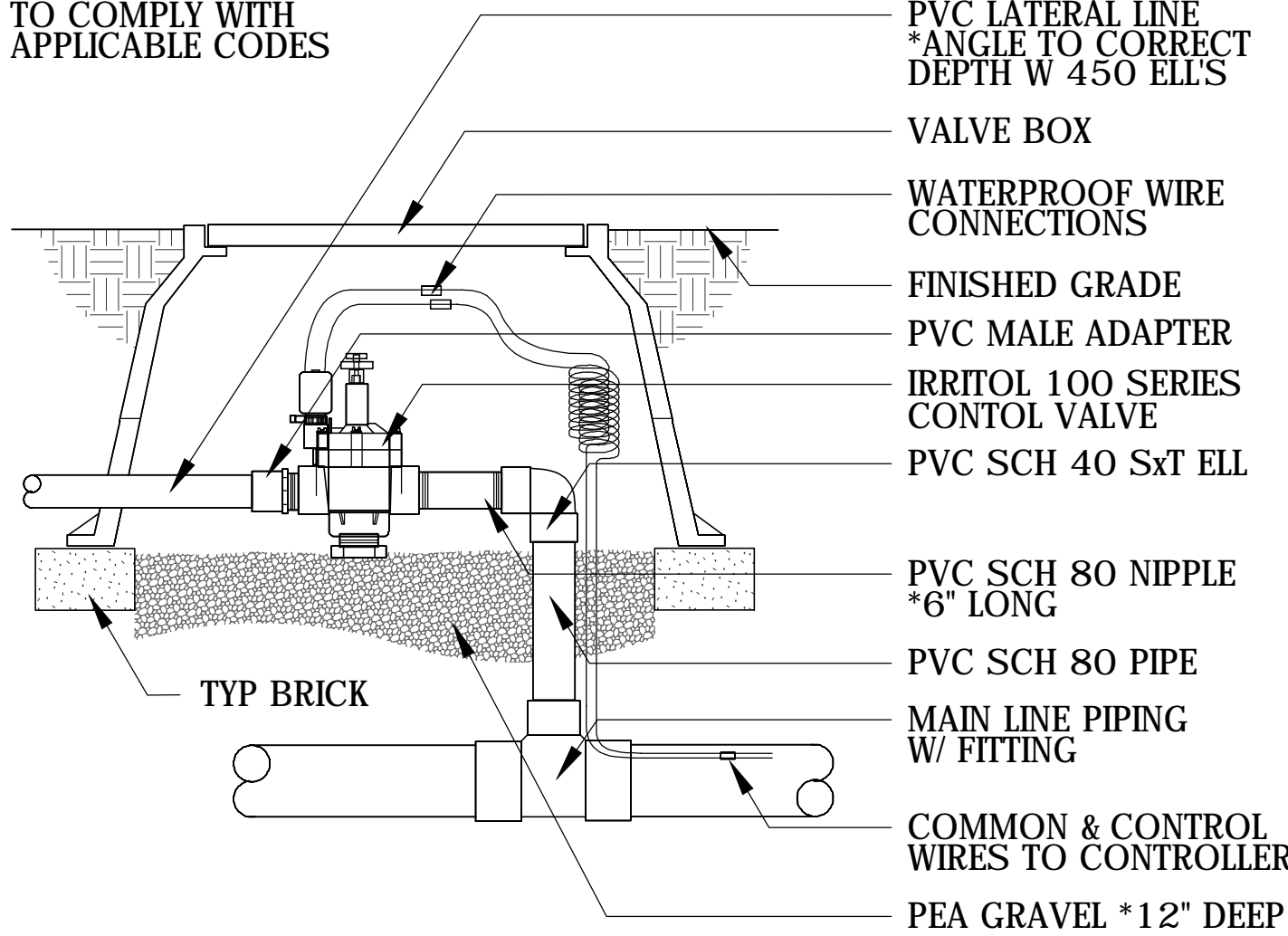


NOTE:  
ALL ELECTRICAL WORK TO COMPLY  
WITH APPLICABLE CODES



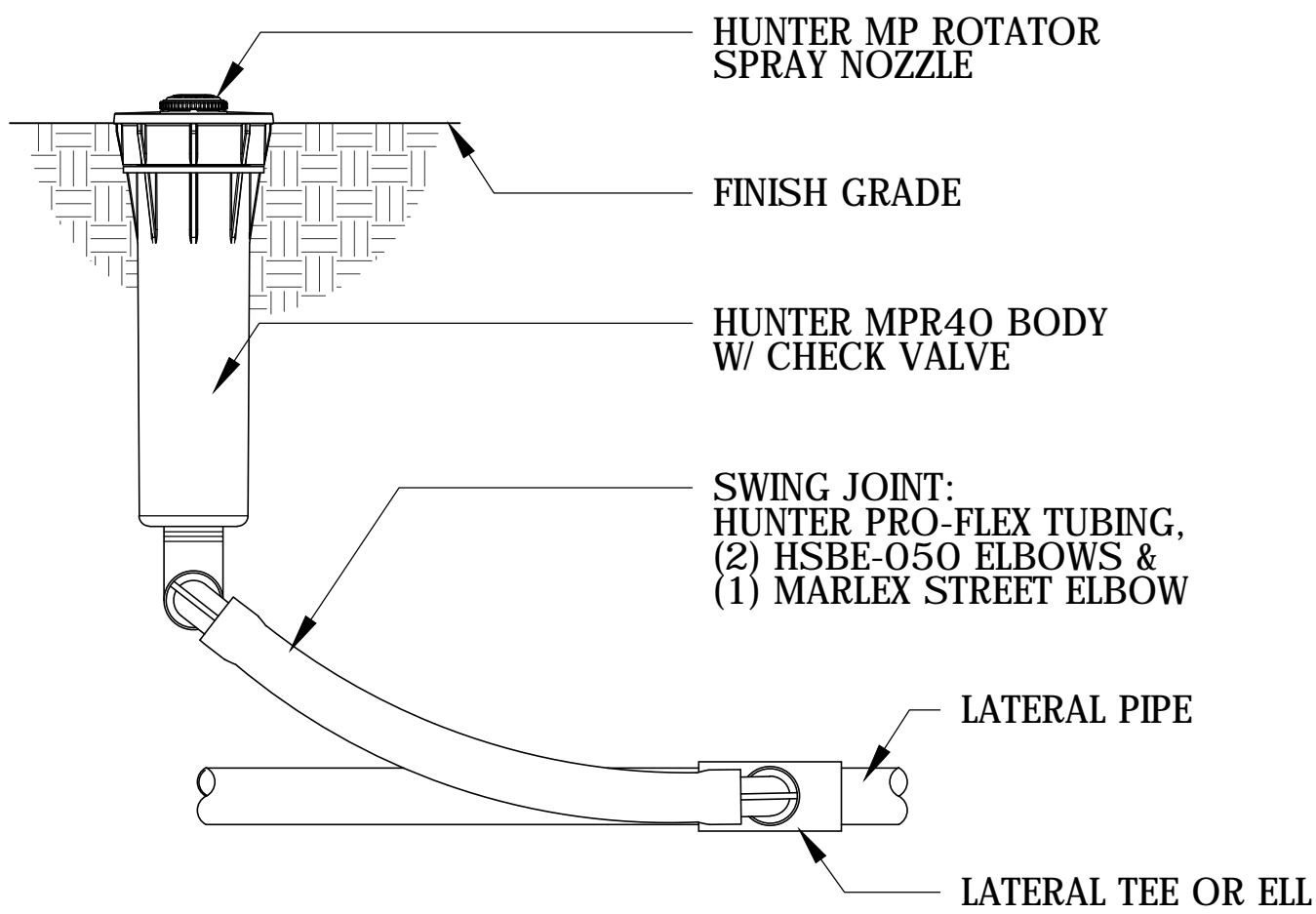
**B** SMART CONTROLLER  
SCALE: NTS

NOTE:  
ALL ELECTRICAL WORK  
TO COMPLY WITH  
APPLICABLE CODES

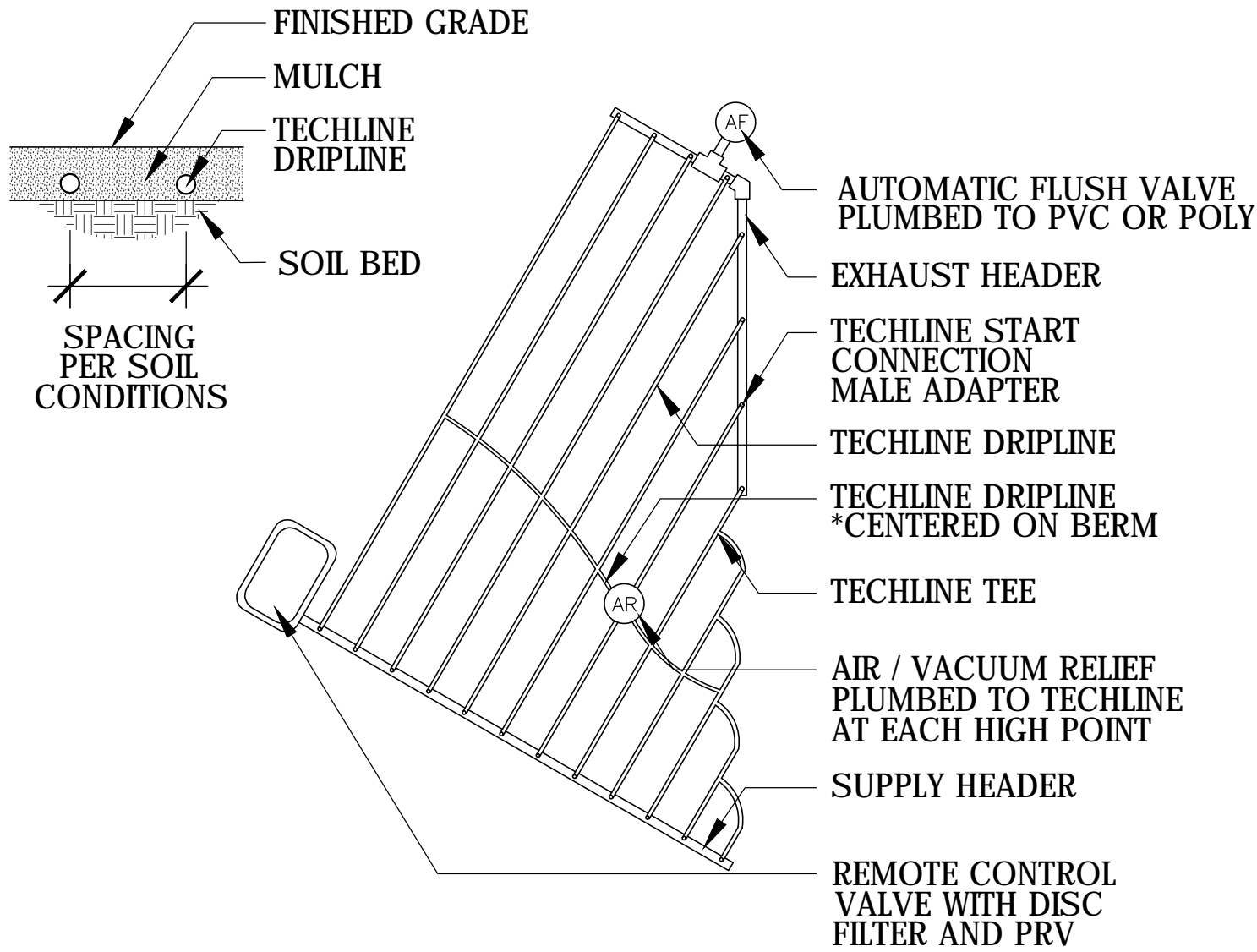


**C** CONTROL VALVE  
SCALE: NTS

NOTE:  
LAWN SPRAY RISER: 6" POP-UP  
MEADOW SPRAY RISER: 12" POP-UP

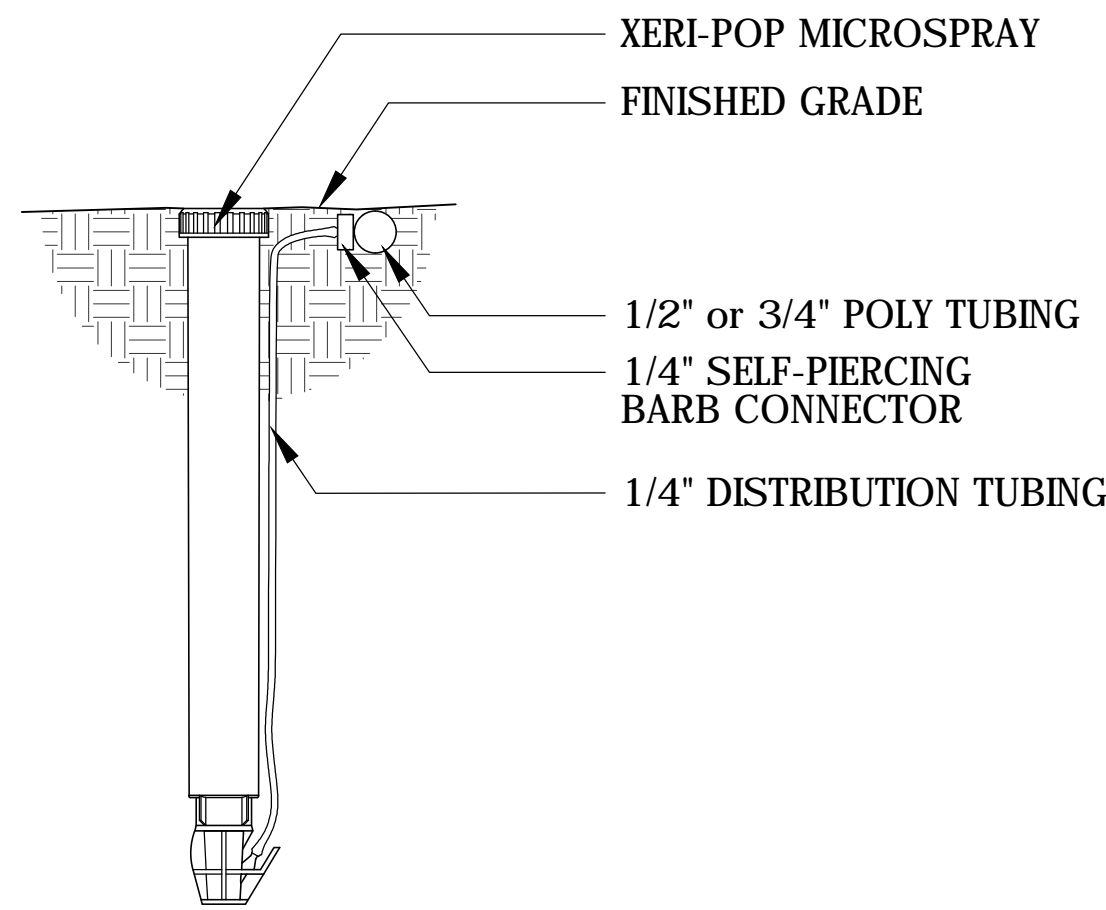


**D** SPRAY HEAD & BODY  
SCALE: NTS

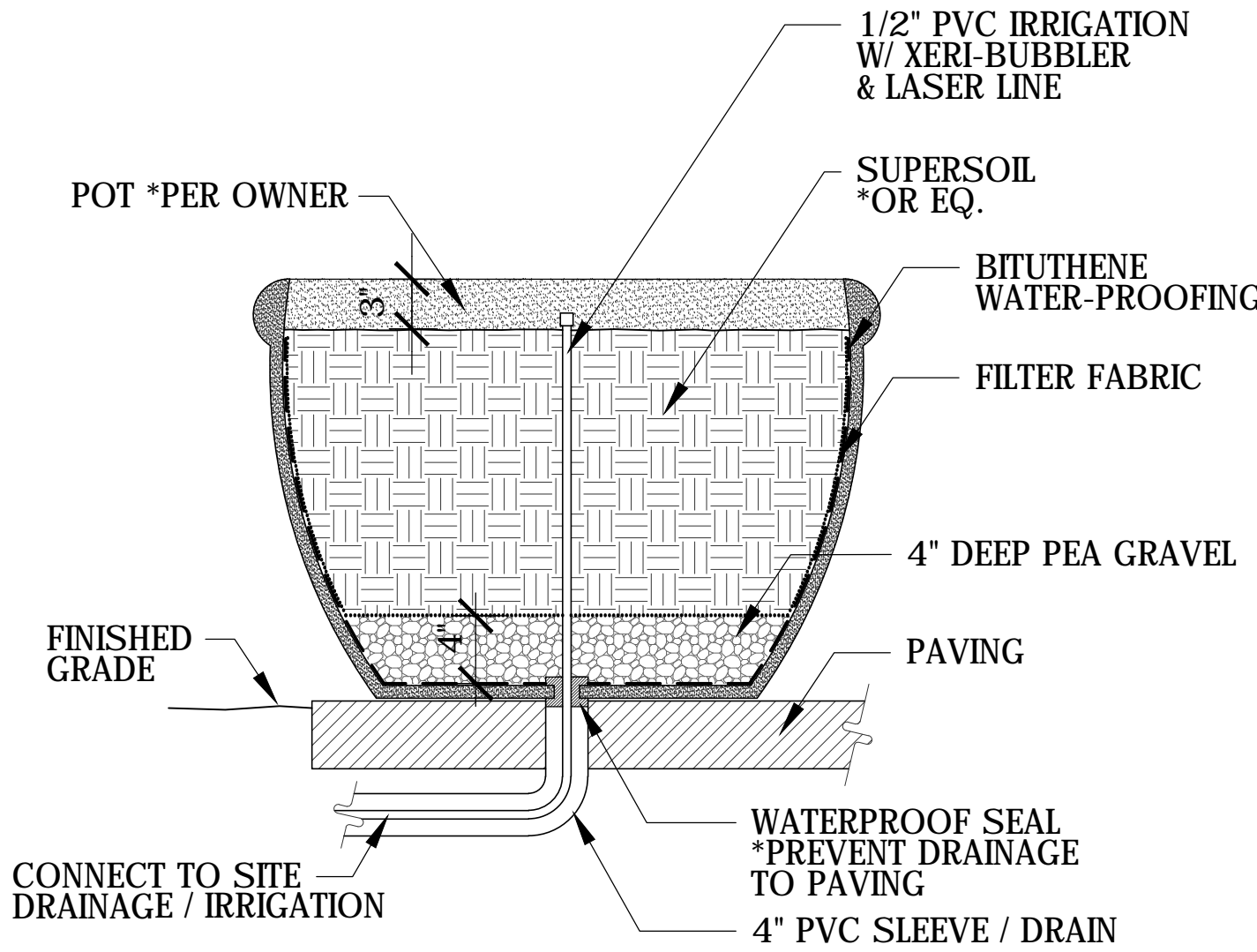


**E** DRIPLINE SAMPLE LAYOUT  
SCALE: NTS

NOTE:  
LAWN SPRAY RISER: 6" POP-UP  
MEADOW, SHRUB SPRAY RISER: 12" POP-UP

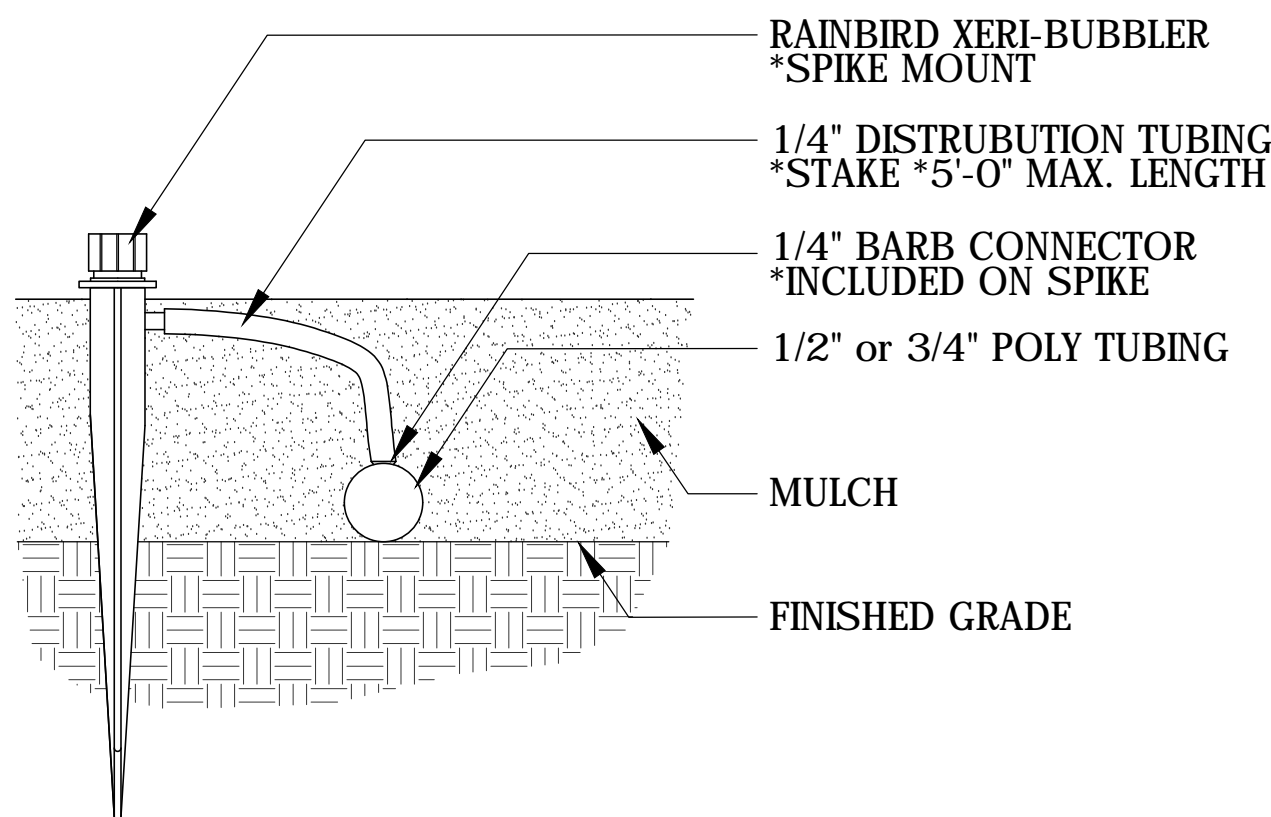


**F** POP-UP MICROSPRAY  
SCALE: NTS



**G** POT IRRIGATION / DRAINAGE  
SCALE: NTS

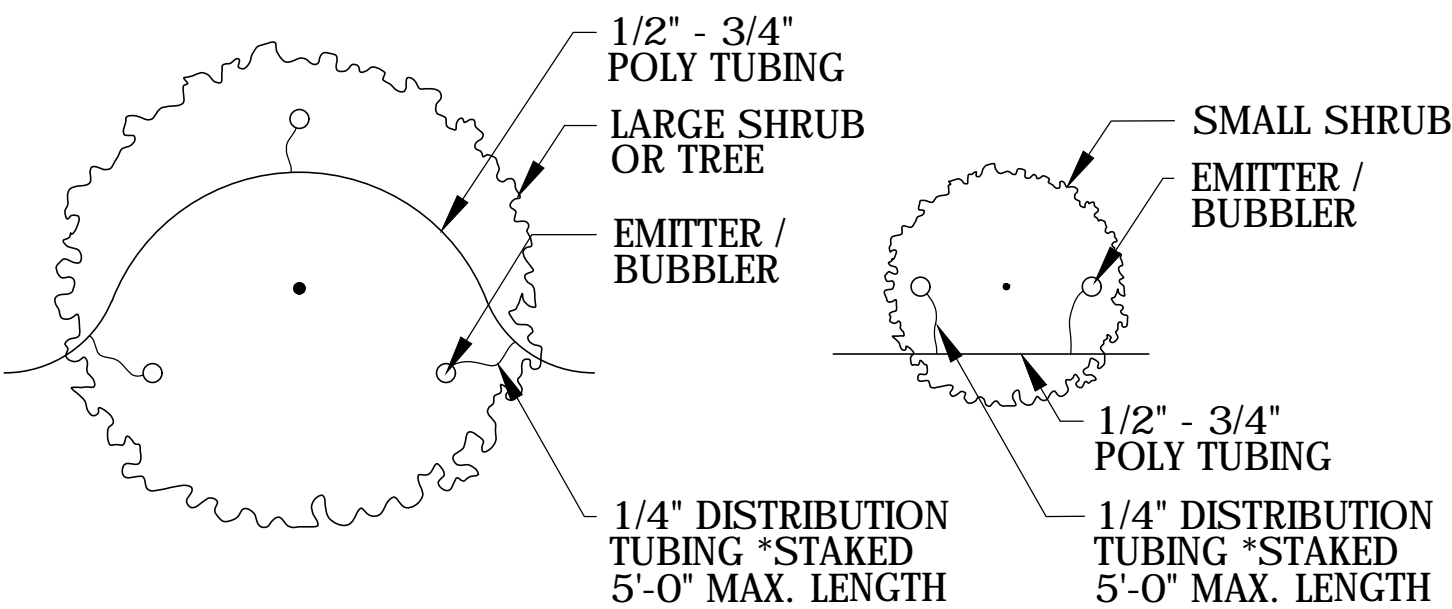
NOTE:  
USE RAINBIRD XERI-MAN TOOL TO  
INSERT BARB INTO POLY TUBING



**H** SPIKE MOUNT BUBBLERS  
SCALE: NTS

NOTES:

1. SPACE EMITTERS TO CREATE AN EVEN WET ZONE ABOUT THE SIZE OF THE CANOPY OF ALL NEW SHRUBS, NEW TREES, & EXISTING IMMATURE NON-NATIVE EXISTING TREES.
2. PLACE EMITTERS AS TO AVOID AS MUCH AS POSSIBLE IRRIGATING OAK TREES & ANY OTHER EXISTING, MATURE NATIVE OR DROUGHT TOLERANT PLANTS.



**I** EMITTER SPACING  
SCALE: NTS

IRRIGATION NOTES

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2. ALL IRRIGATION SYSTEM COMPONENTS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. MANUFACTURER'S SPECIFICATIONS SUPERSEDE ANY SPECS ON THESE PLANS / DETAILS.
3. IRRIGATION SYSTEM SHALL USE PRESSURE REGULATORS AS NEEDED TO KEEP ALL COMPONENTS WITHIN OPTIMAL PSI RANGE, PER MANUFACTURER'S SPECS.
4. CONTROLLER TYPE SHALL BE A SMART CONTROLLER. RAIN SENSORS AND / OR WEATHER STATIONS ARE RECOMMENDED.
5. CONTROLLER SHALL BE SET TO IRRIGATE BETWEEN THE HOURS OF 8PM AND 10AM. CONTROLLER SHALL BE SET TO IRRIGATE DEEPLY AND LESS FREQUENTLY TO ENCOURAGE DROUGHT RESISTANT ROOT GROWTH. IRRIGATION SCHEDULE TO BE DETERMINED BY AUDITOR / CONTRACTOR.
6. PIPING BETWEEN THE WATER METER AND A REDUCED PRESSURE ASSEMBLY SHALL BE BRASS OR COPPER TYPE 'K'.
7. THE BOTTOM OF THE REDUCED PRESSURE ASSEMBLY SHALL BE INSTALLED MIN. 12" ABOVE THE GROUND.
8. A 100 MESH FILTER SHALL BE INSTALLED ON THE MAINLINE BEFORE THE REDUCED PRESSURE ASSEMBLY.
9. VALVES SHALL BE HOUSED IN WEATHER-PROOF PLASTIC BOXES, WITH LOCKABLE LIDS MARKED WATER.
10. CONTROL WIRE CONNECTIONS SHALL BE MADE WITH WATERPROOF PLASTIC WIRE NUTS.
11. MAIN SUPPLY LINES & FITTINGS SHALL BE PVC SCH 40, SIZE AS NOTED ON PLAN, BURIED 12" - 16" DEEP.
12. LATERAL SUPPLY LINES & FITTINGS SHALL BE PVC SCH 40, SIZE TO BE DETERMINED BY CONTRACTOR, BURIED 9" - 12" DEEP.
13. FLEXIBLE POLY PIPE TO BE 1/2" - 3/4", DETERMINED BY CONTRACTOR. ALL 1/2" FLEXIBLE DISTRIBUTION LINES TO BE A MAXIMUM OF 5'-0" IN LENGTH & ARE TO BE STAKED.
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15. HOSE BIBS SHALL BE MOUNTED ON GALVANIZED STEEL RISERS 30" ABOVE FINISHED GRADE. SECURE TO A #4 STEEL BAR DRIVEN 18" INTO SOLID GROUND.
16. CHECK VALVES SHALL BE INSTALLED ON ALL DOWNHILL DRIPLINE & DISTRIBUTION LINE.
17. RISER HEIGHT IN LAWN AREAS SHALL BE 4". RISER HEIGHT IN MEADOW AREAS AND OTHER LANDSCAPE AREAS SHALL BE 12". THE RISERS FOR SPRINKLERS ON SLOPES SHALL BE SET APPROXIMATELY PERPENDICULAR TO THE PLANE OF THE SLOPE.
18. IF LOCATION OF A SUPPLY LINE INTERFERES WITH THE DRILLING OF THE PLANT HOLES, THE PLANT HOLES SHALL BE LOCATED AS TO CLEAR THE SUPPLY LINES.
18. ALL LINES SHALL BE THOROUGHLY FLUSHED OUT PRIOR TO ATTACHMENT OF VALVES, SPRINKLERS, EMITTERS, & OTHER TERMINAL FITTINGS.
19. THE CONTRACTOR SHALL MAKE FINAL ADJUSTMENTS TO THE IRRIGATION SYSTEM TO ENSURE PROPER COVERAGE AND PREVENT WATER RUN-OUT AND EXCESS SPRAY.
20. ALL SPRAY AND DRIP ZONES TO BE MIN. 5'-0" AND PREFERABLY 10'-0" AWAY FROM OAK TREE TRUNKS.

WATER CONSERVATION IN LANDSCAPING ORDINANCE COMPLIANCE

THESE PLANS COMPLY WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

REVISIONS

NO.	DATE	DESCRIPTION

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San Mateo, CA 94402  
Tel: 650-372-8119  
Fax: 650-372-8119  
mike@michaelcallan.com

michaelcallan  
landscape architect



SMITH RESIDENCE  
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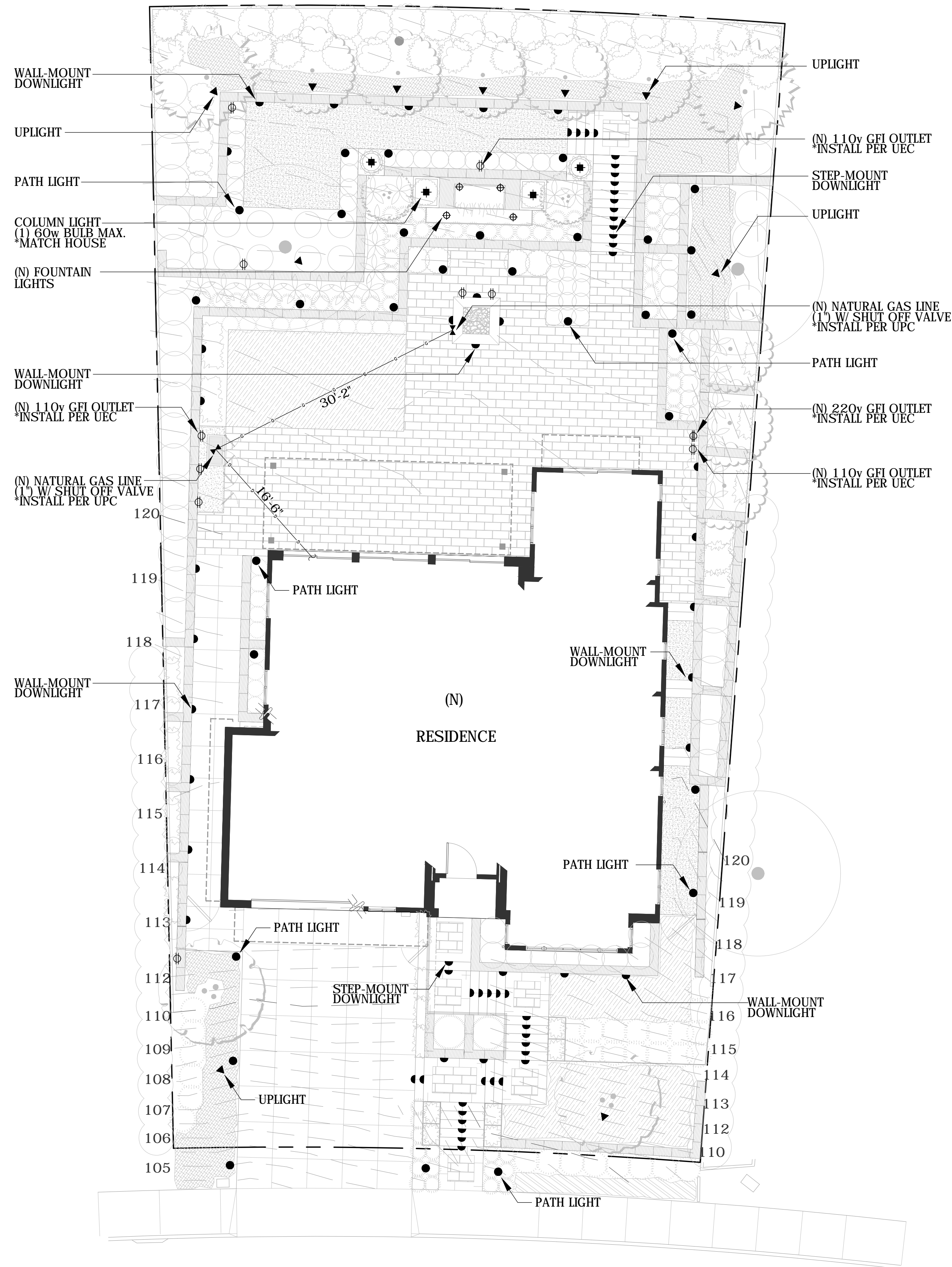
DATE: SEPTEMBER 00, 2015

TITLE: NOTES / DETAILS

SHEET NO.

L2.5





VIRGINIA AVENUE

LIGHTING / UTILITY LEGEND

SYM	DESCRIPTION	WATT	QTY.	VOLTS	REMARKS
●	FX LUMINAIRE M-PL	20	30	12	PATH LIGHT
▲	FX LUMINAIRE MU-LED	35	1	12	UPLIGHT
▲	FX LUMINAIRE LM-LED	20	68	12	WALL / STEP MOUNT LIGHT
■	COLUMN LIGHTS	60	4	110v	MATCH HOUSE
⊕	FOUNTAIN LIGHTS	35	4	12	FOUNTAIN LIGHTS
\$	SWITCH LOCATIONS	-	-	12	INSTALL PER UBC STDS.
⊕	ELECTRICAL OUTLET	-	10	110v	INSTALL PER UBC STDS.
⊕	ELECTRICAL OUTLET	-	1	220v	INSTALL PER UBC STDS.
⊞	TRANSFORMER - MULTI-TAP	-	-	110v	INSTALL PER UBC STDS.

- LIGHTING NOTES
- THE CONCEPTS ON THE LIGHTING PLAN ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL MAKE ADJUSTMENTS AS NECESSARY BASED ON ACTUAL SITE CONDITIONS.
  - ALL LIGHTING SYSTEM COMPONENTS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. MANUFACTURER'S SPECIFICATIONS SUPERSEDE ANY SPECS ON THESE PLANS / DETAILS.
  - ALL ELECTRICAL WORK SHALL BE PERFORMED IN CONFORMANCE WITH STATE AND LOCAL CODES. ALL 120v / 220v ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN. ALL ELECTRICAL WORK SHALL BE COORDINATED WITH GENERAL CONTRACTOR.
  - DIRECT BURIAL WIRE SHALL BE INSTALLED WITH A MINIMUM OF 8" SOIL COVER. CABLE SHALL BE CIRCUITED AND SIZED TO PROVIDE A MINIMUM OF 10.5v AND A MAXIMUM OF 11.5v TO ALL LIGHTING FIXTURES. MINIMUM UNDERGROUND LOW VOLTAGE CABLE SIZE IS 12-GAUGE MULTI-STRAND DIRECT BURIAL CABLE. LEAVE 24" LOOPS AT ALL FIXTURE LOCATIONS FOR FINAL ADJUSTMENT. ALL WIRE JUNCTIONS SHALL BE JOINED WITH FULLY ENCAPSULATED WATERPROOF CONNECTORS RATED FOR DIRECT BURIAL INSTALLATIONS.
  - ELECTRICAL CONTRACTOR SHALL INSTALL SLEEVES AND CONDUITS OF SUFFICIENT SIZE UNDER ALL PAVED AREAS AS NEEDED. SCHEDULE 40 PVC ELECTRICAL CONDUIT SHALL BE BURIED A MINIMUM DEPTH OF 18".
  - TRANSFORMERS SHALL BE STAINLESS STEEL MULTI-TAP SIZED TO BE 80% LOADED. INSTALL TRANSFORMERS 12" OFF FINISH GRADE AND LEVEL. ALL WIRES LEADING TO OR FROM TRANSFORMER SHALL BE IN CONDUIT SLEEVE THAT IS AFFIXED TO MOUNTING SURFACE. ALL JUNCTION BOXES AND OTHER EQUIPMENT SHALL BE UL APPROVED FOR WET LOCATIONS.
  - CONTRACTOR SHALL COORDINATE WITH OWNER ON TIMERS, SWITCH LOCATIONS, AND SYSTEM GROUPING OF LIGHTING FIXTURES ON EACH SWITCH.
  - FIXTURES SHALL NOT BE DIRECTED TOWARD THE STREET, SKY, OR NEIGHBORING PROPERTIES.
  - CONTRACTOR SHALL INSTALL FIXTURES WITH A MINIMUM OF 18" CLEARANCE TO ALL PATHWAYS.
  - ALL OUTDOOR FIXTURES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRES OR SHALL BE CONTROLLED BY A PHOTO-CONTROL / MOTION SENSOR COMBINATION.
  - ALL 125v, SINGLE PHASE, 15 & 20 AMP RECEPTACLES INSTALLED OUTDOORS WITHIN 6 FT. OF A WET BAR SINK OR LAUNDRY / UTILITY SINK, SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION PER STATE AND LOCAL CODE.
  - CONTRACTOR IS RESPONSIBLE FOR FINAL ADJUSTMENTS TO CHECK FOR VOLTAGE DROP AND POSSIBLE WIRING PROBLEMS.

LIGHTING / UTILITY PLAN

SCALE: 1/8" = 1'-0"

REVISIONS

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michaelcallan  
landscape architect



SMITH RESIDENCE  
445 VIRGINIA AVENUE SAN MATEO, CALIFORNIA

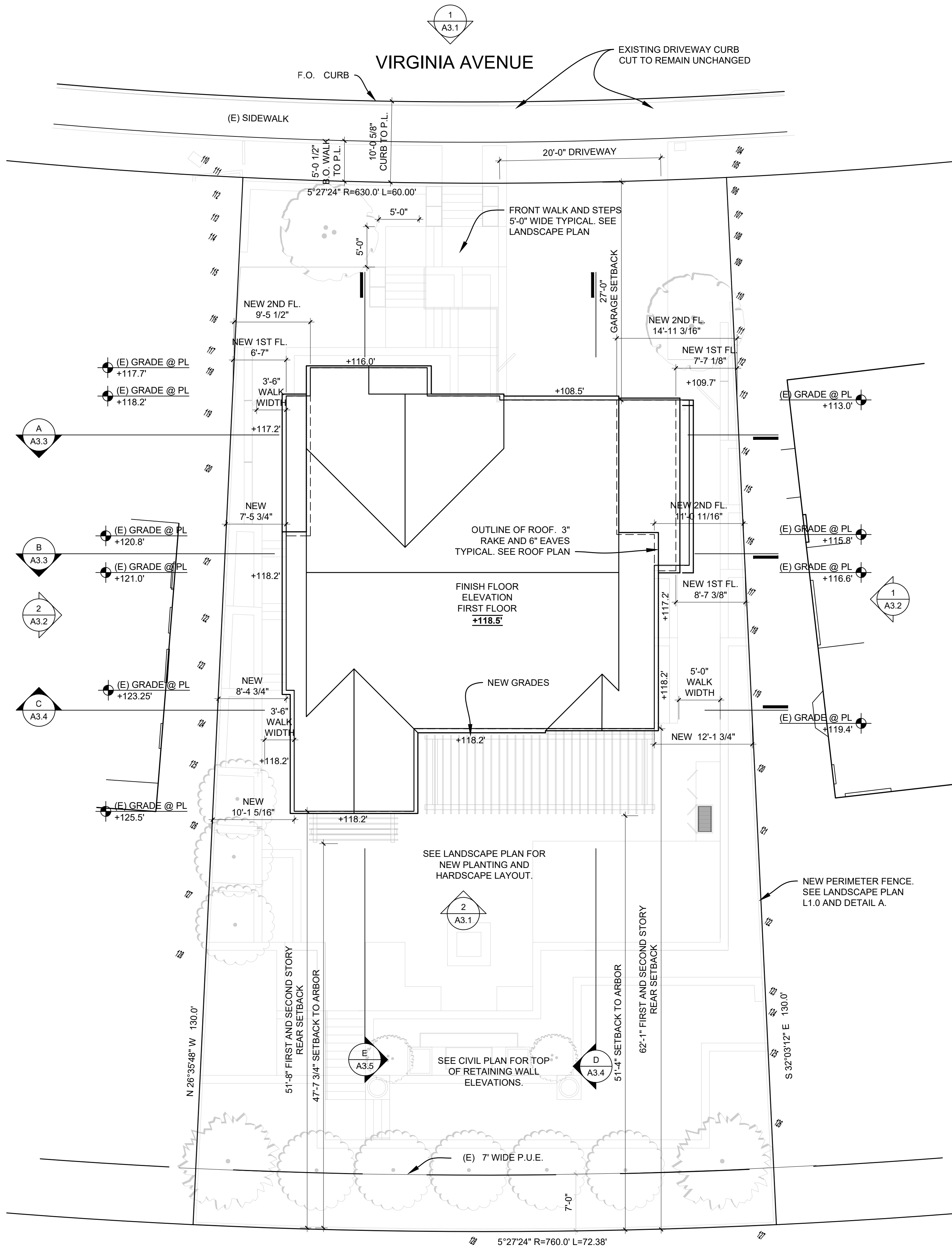
DATE: JUNE 2, 2022  
TITLE: LIGHTING / UTILITY PLAN

SHEET NO: L3.0

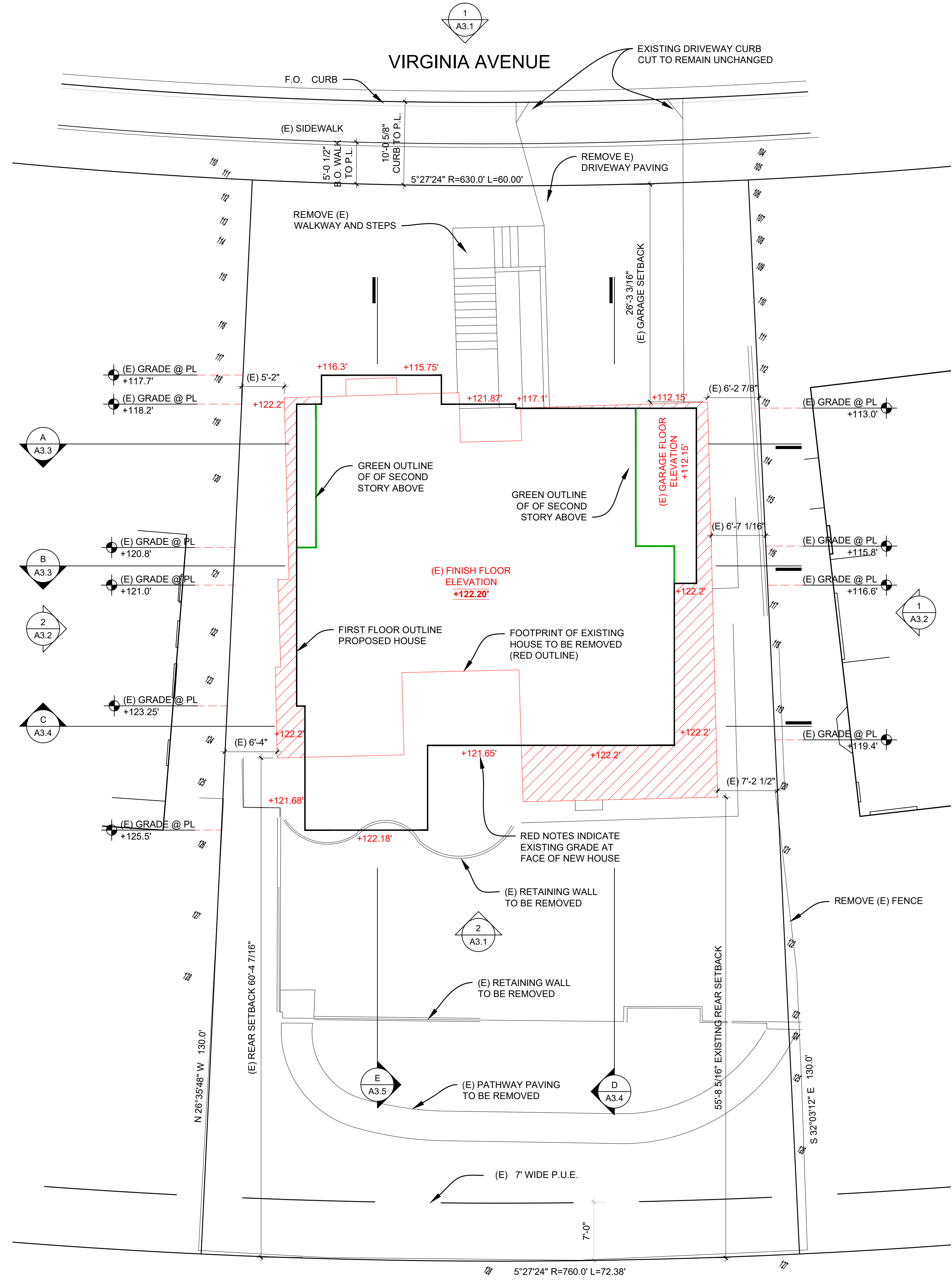
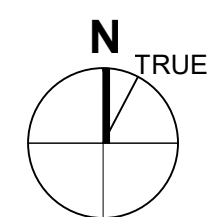


SCALE: NTS

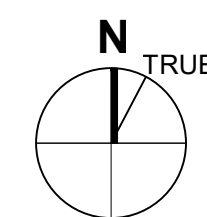




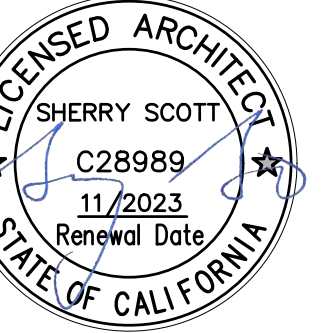
**2 SITE PLAN - PROPOSED**  
A1.1 1/8"=1'-0"



**1 SITE PLAN - EXISTING/DEMO**  
A1.1 1/8"=1'-0"



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445 VIRGINIA AVENUE  
SAN MATEO, CALIFORNIA

ISSUE HISTORY

01	08.01.22	PLANNING

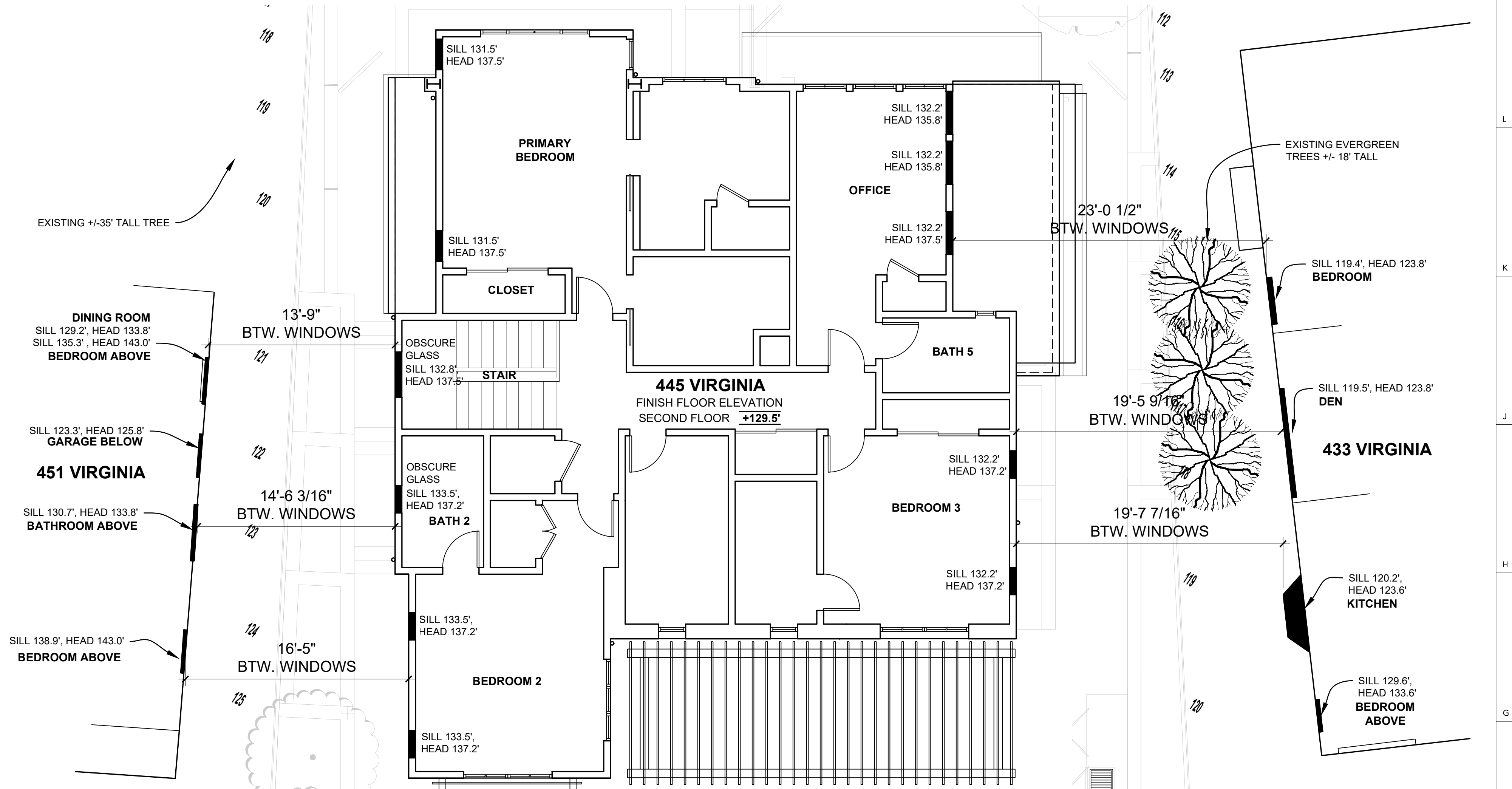
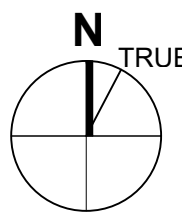
SITE PLAN  
EXISTING AND  
PROPOSED

A1.1

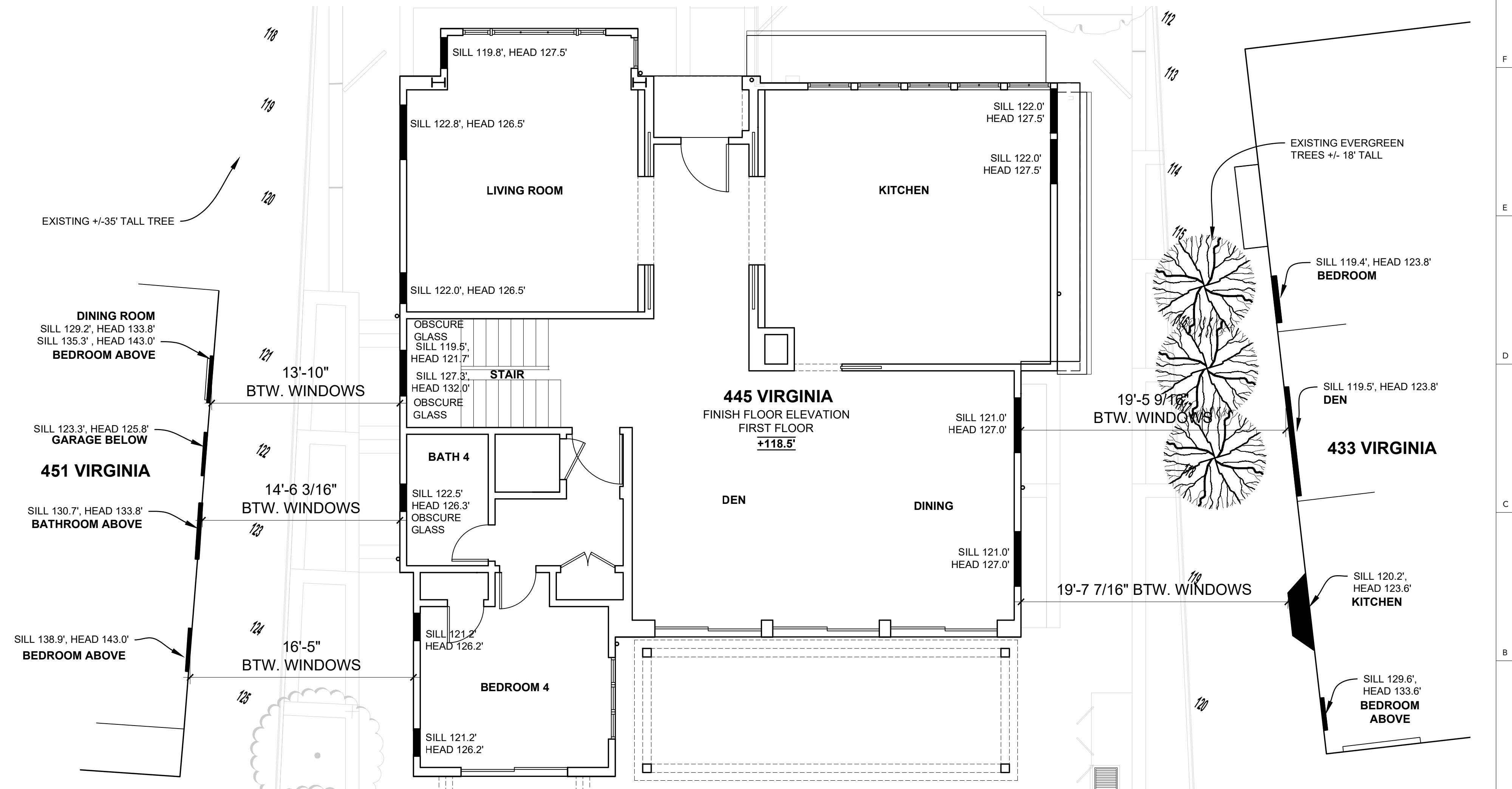
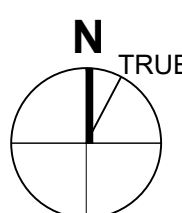
CURRENT ISSUE  
08.01.2022



2 WINDOW ADJACENCY - UPPER  
A1.2 3/16"=1'-0"



1 WINDOW ADJACENCY - GROUND  
A1.2 3/16"=1'-0"



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445 VIRGINIA AVENUE  
SAN MATEO, CALIFORNIA

ISSUE HISTORY

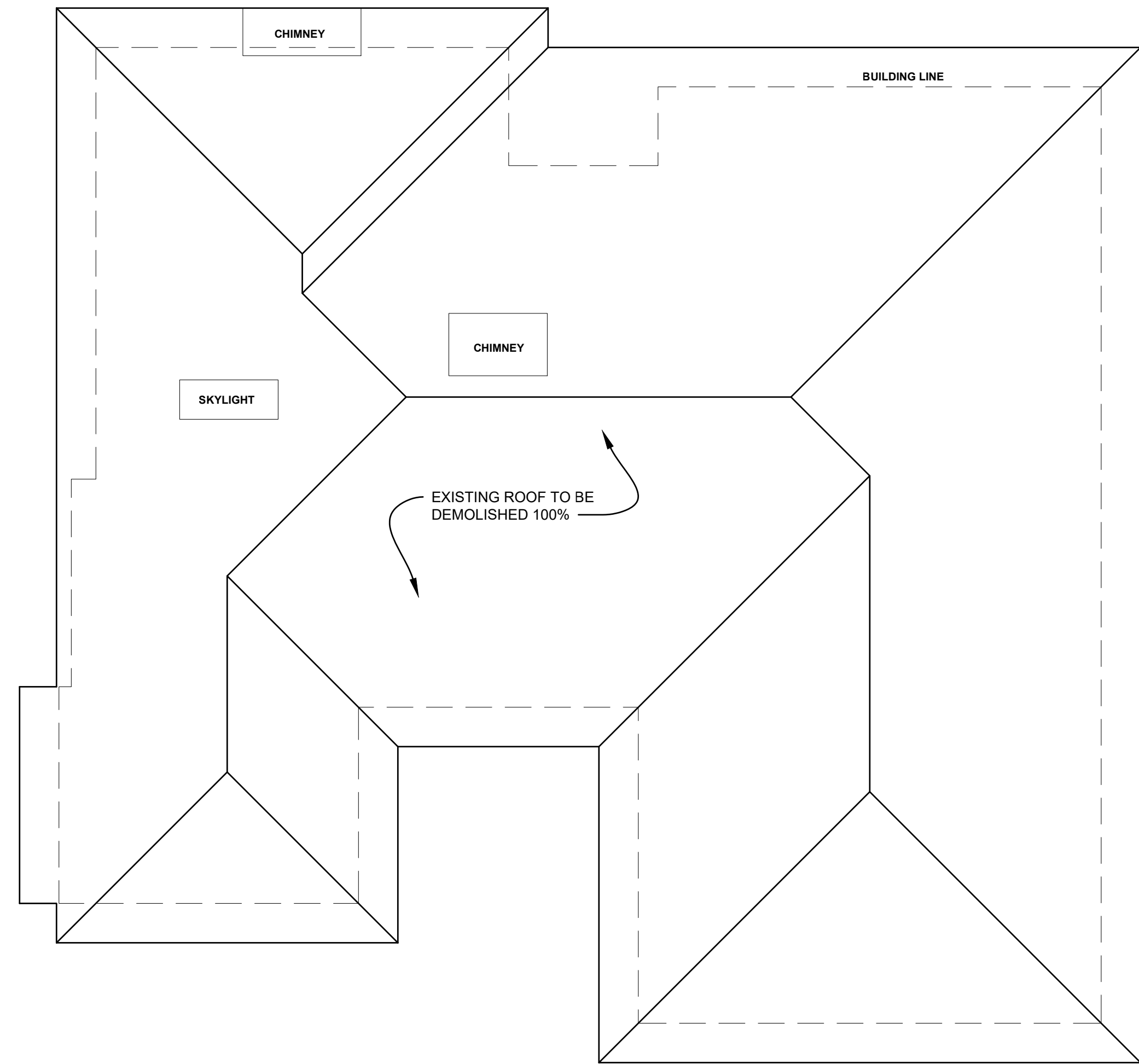
01	08.01.22	PLANNING

SITE PLAN  
WINDOW  
ADJACENCY

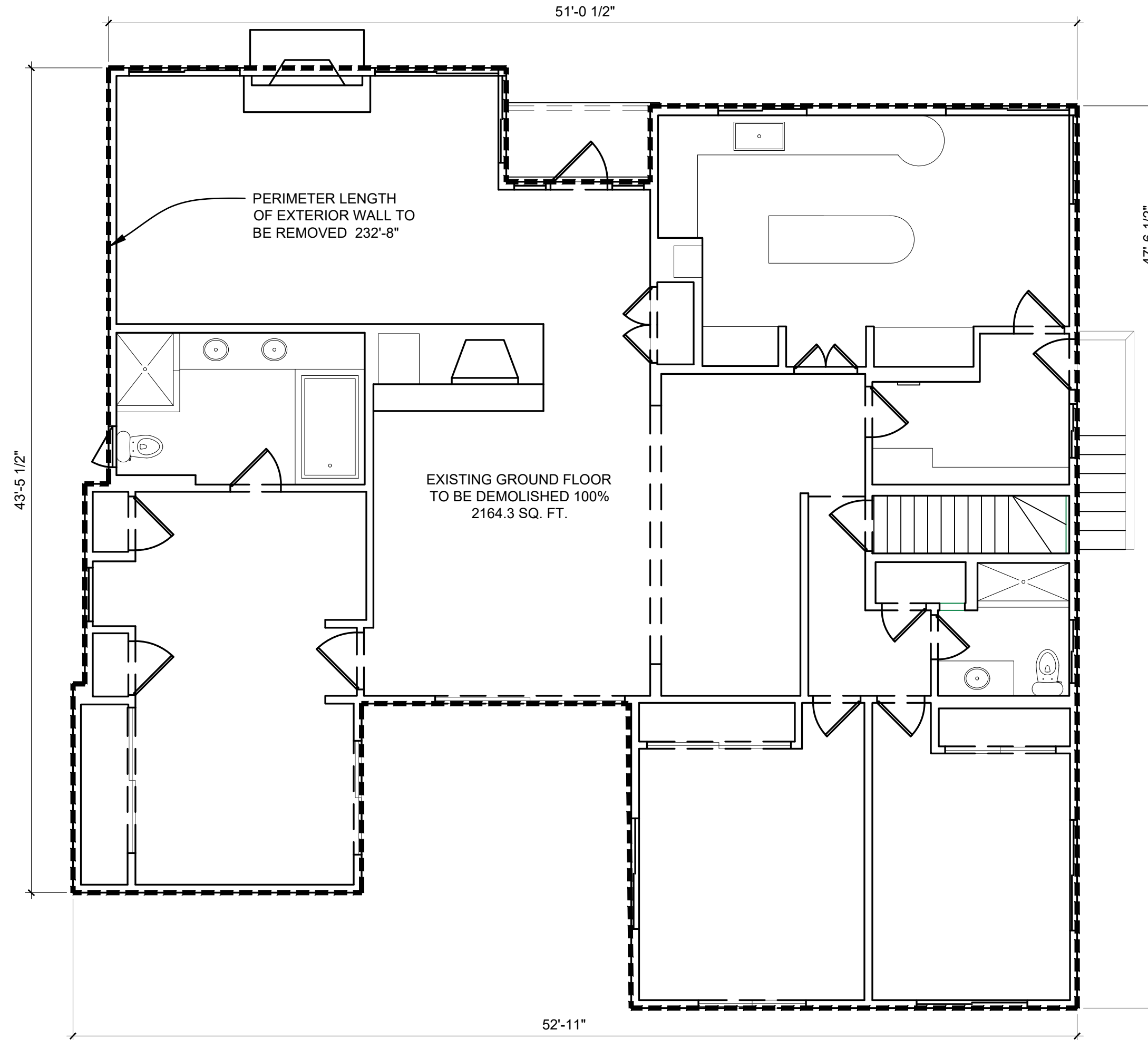
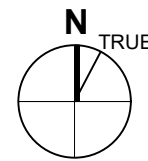
A1.2

CURRENT ISSUE  
08.01.2022

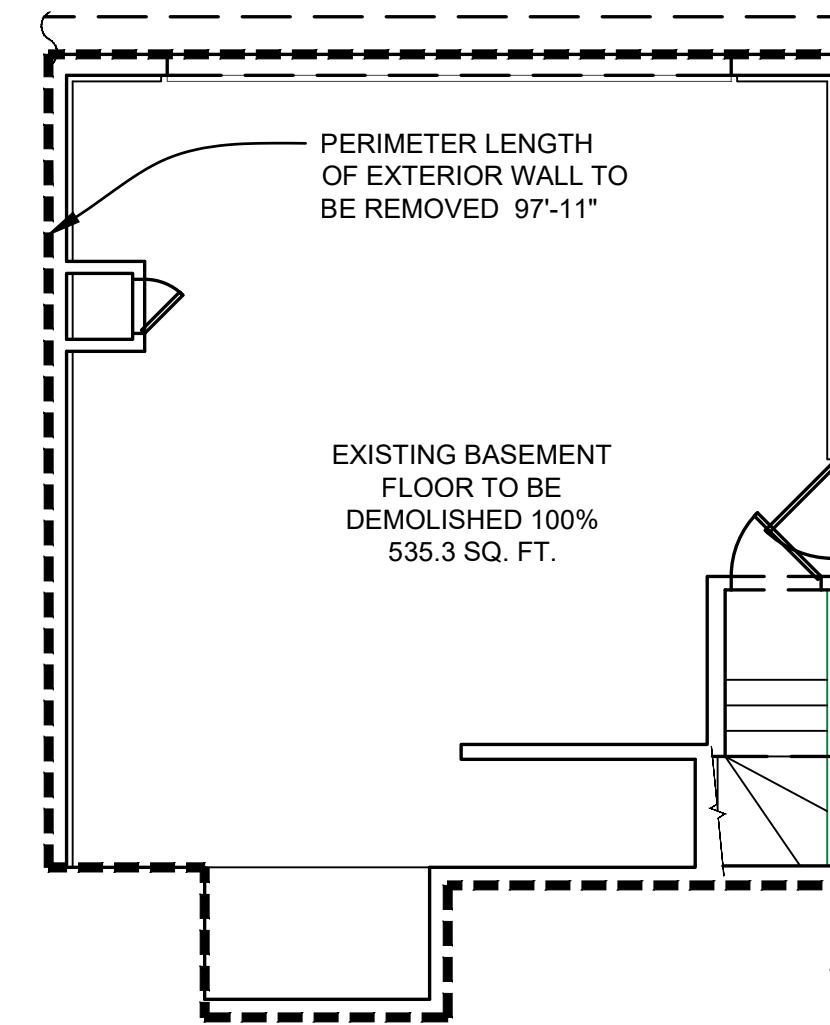
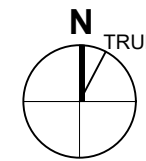




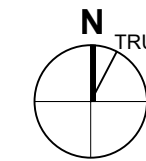
**3** **EXISTING ROOF PLAN**  
A2.0 3/16"=1'-0'



**2** **EXISTING GROUND FLOOR PLAN**  
A2.0 3/16"=1'-0'



**1** **EXISTING BASEMENT PLAN**  
A2.0 3/16"=1'-0'



EXISTING FLOOR PLANS INCLUDED FOR REFERENCE ONLY. ENTIRE EXISTING HOME TO BE DEMOLISHED.



ISSUE HISTORY

01	08.01.22	PLANNING

FLOOR PLANS  
EXISTING  
TO BE DEMOLISHED

A2.0

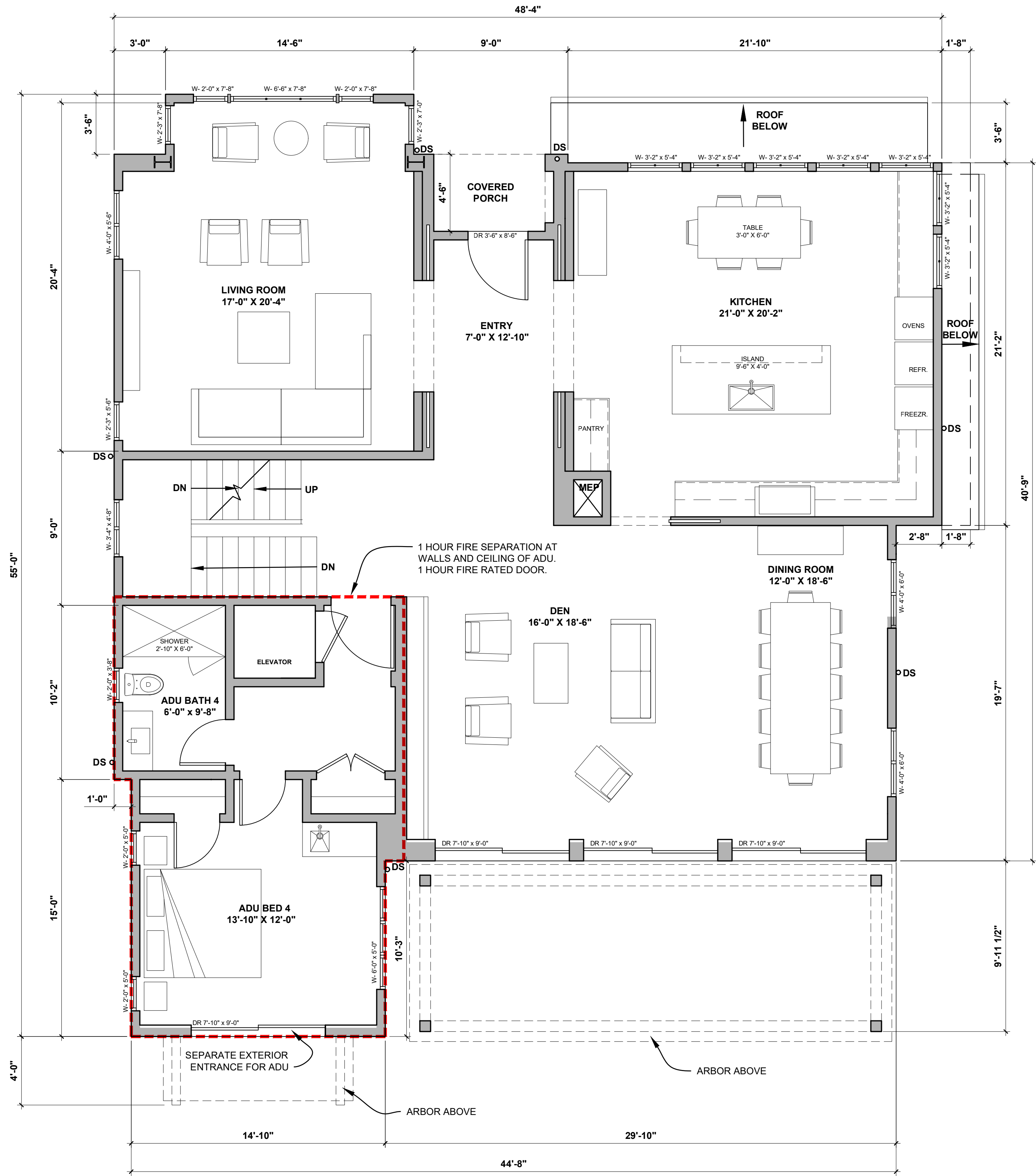
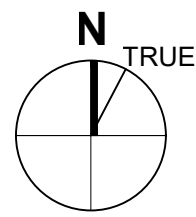
CURRENT ISSUE  
08.01.2022





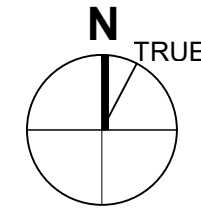
DS INDICATES DOWNSPOUT LOCATION

2 UPPER FLOOR PLAN  
A2.1 1/4"=1'-0"

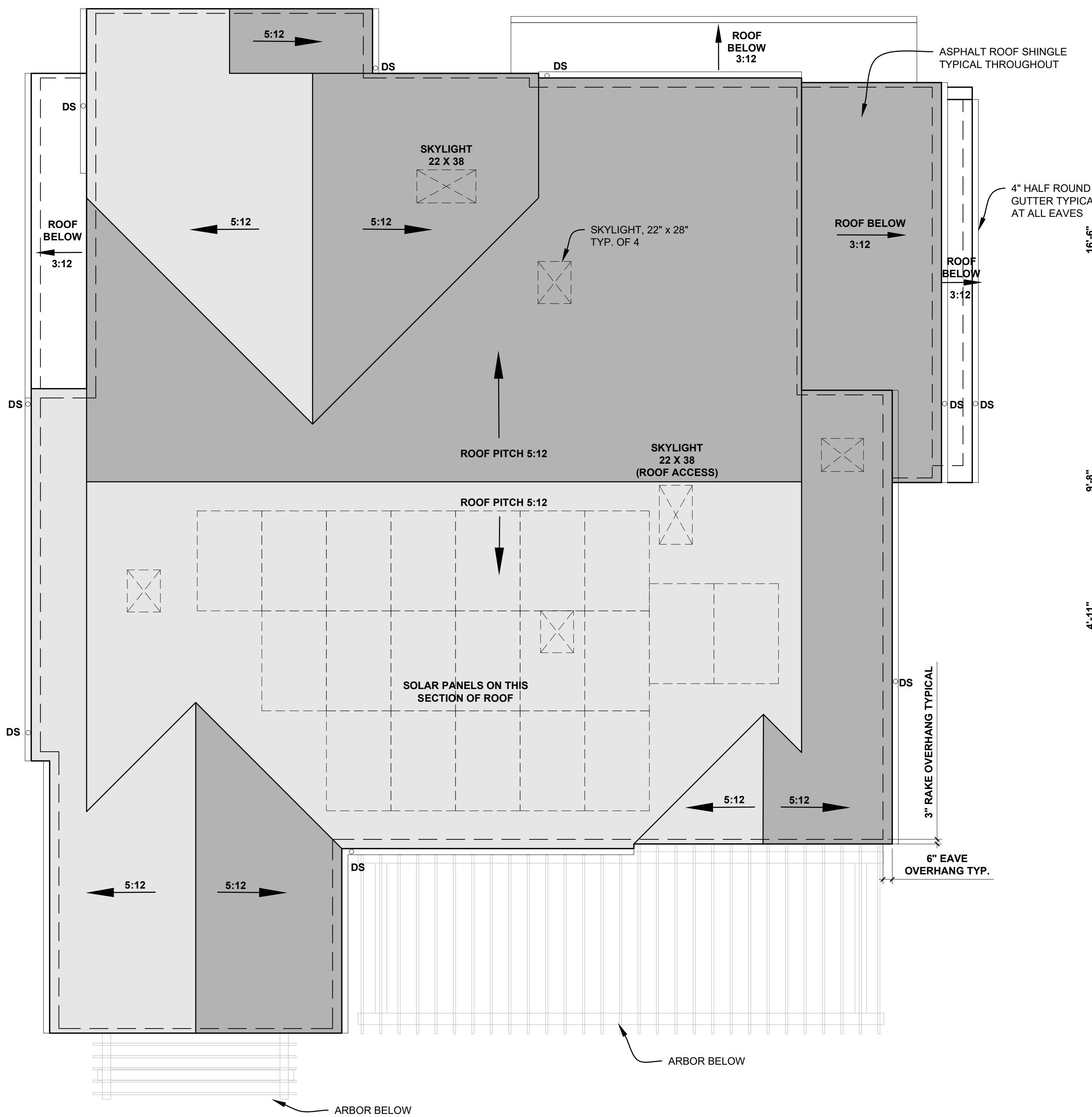


DS INDICATES DOWNSPOUT LOCATION

1 GROUND FLOOR PLAN  
A2.1 1/4"=1'-0"



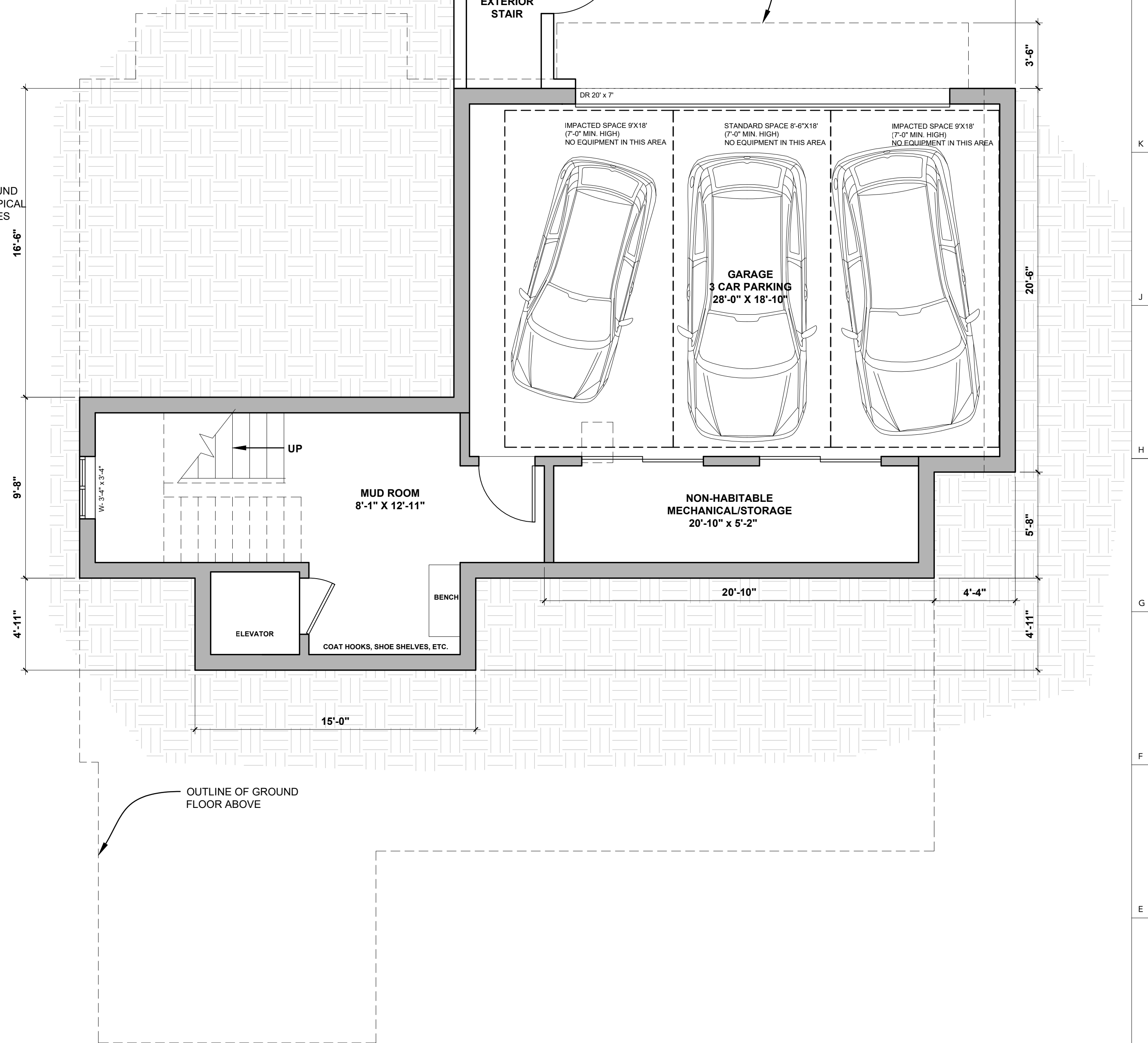
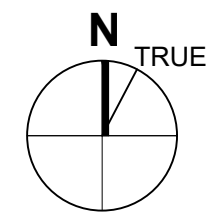




2  
A2.2  
1/4"=1'-0"

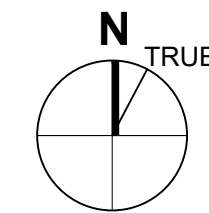
DS INDICATES DOWNSPOUT LOCATION

**ROOF PLAN**



1  
A2.2  
1/4"=1'-0"

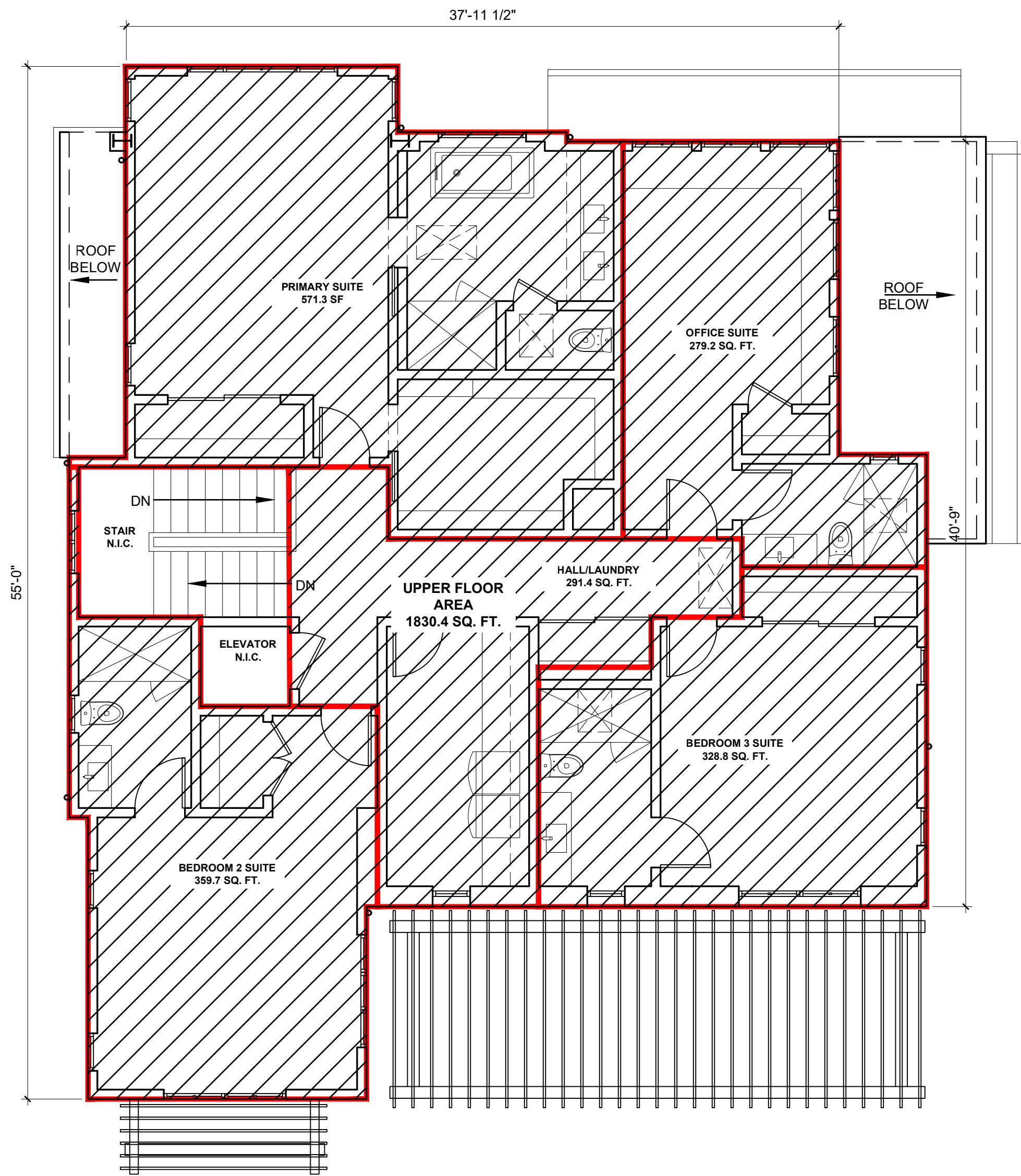
**BASEMENT FLOOR PLAN**



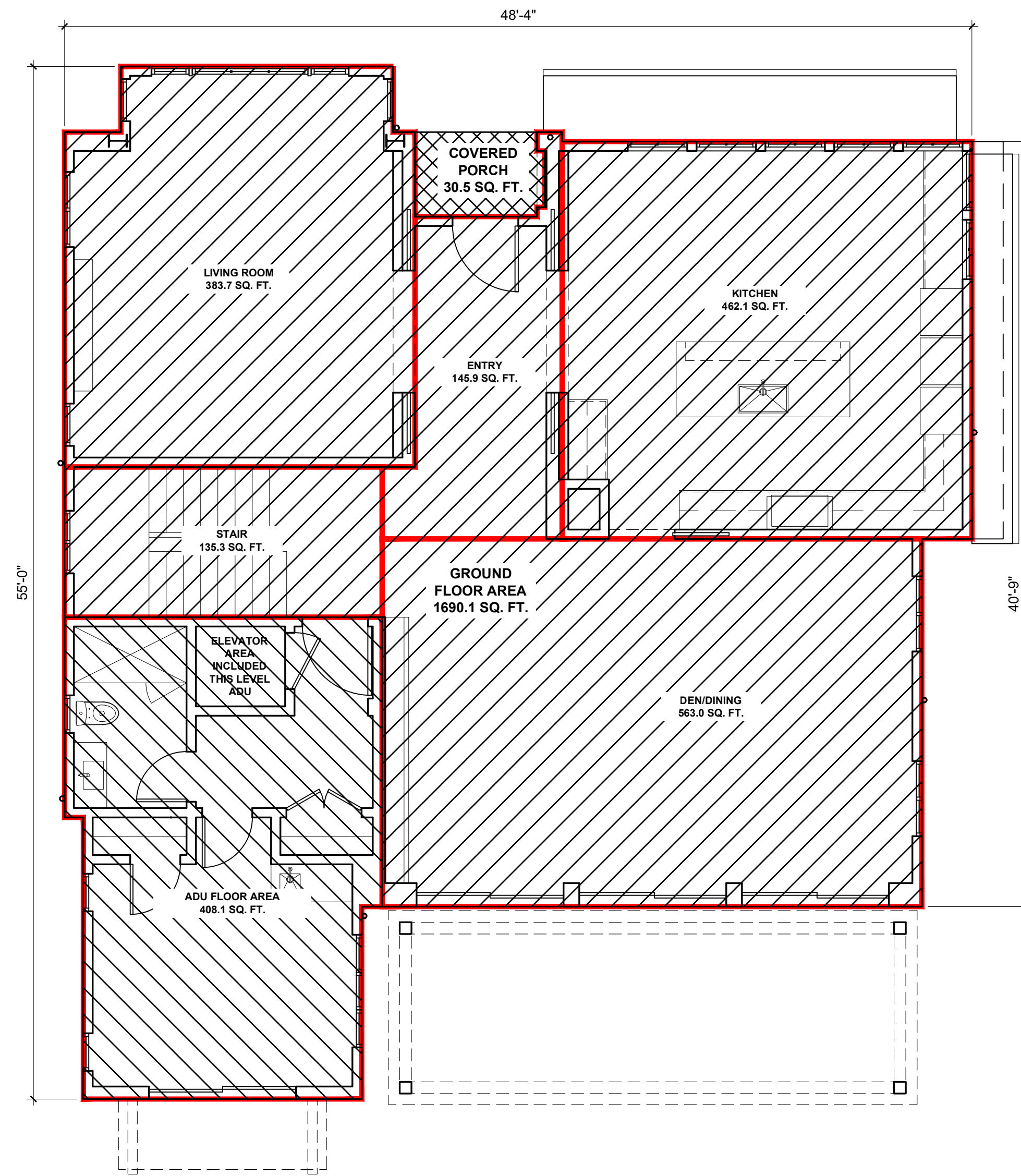
ISSUE HISTORY

01	08.01.22	PLANNING

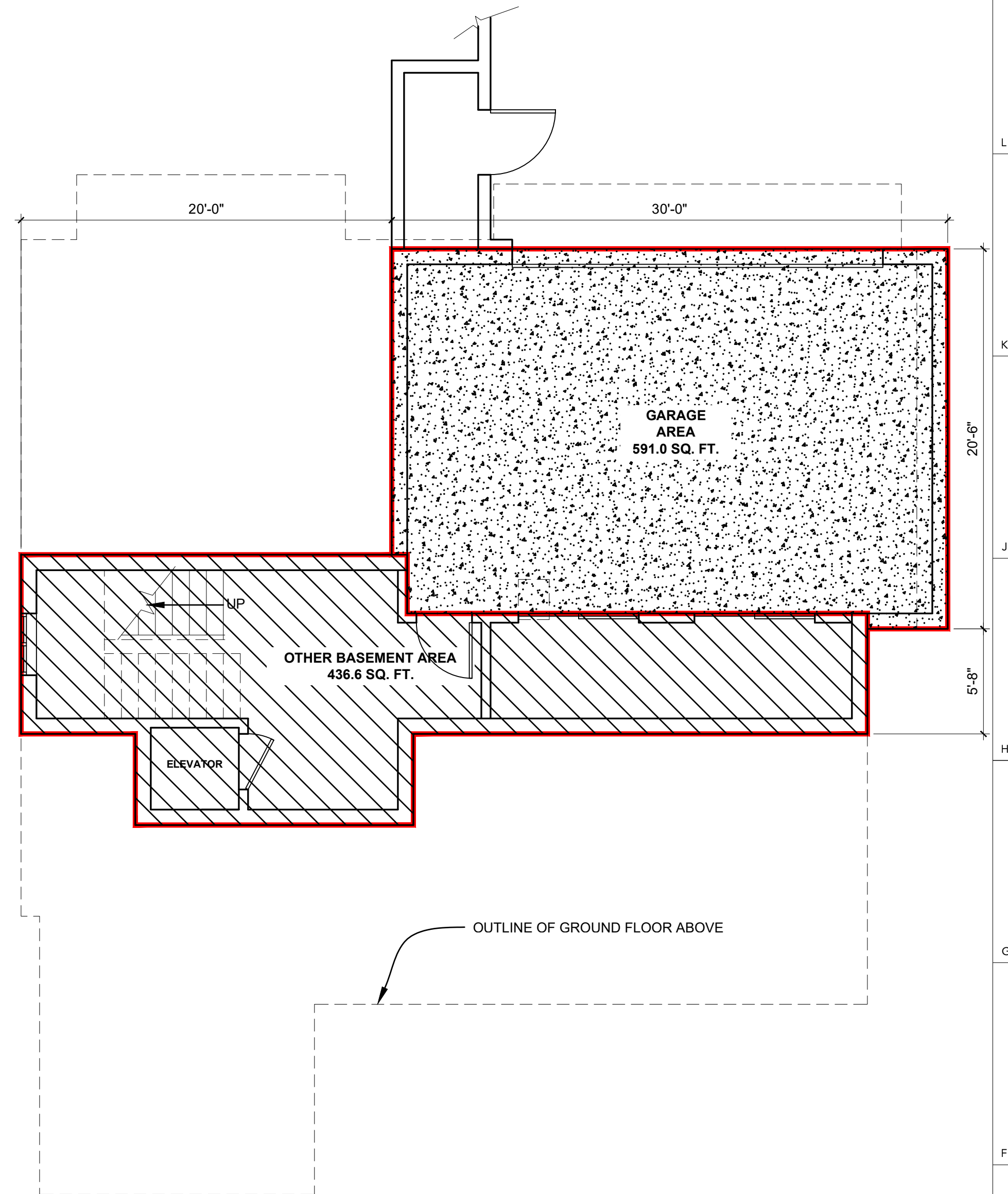




SECOND FLOOR AREA DETAIL	
PRIMARY SUITE	571.3SF
OFFICE SUITE	279.2 SF
BEDROOM 2 SUITE	359.7 SF
BEDROOM 3 SUITE	328.8 SF
LAUNDRY/HALL	291.4 SF
TOTAL SECOND FLOOR AREA	1830.4 SF

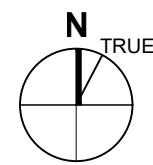


GROUND FLOOR AREA DETAIL	
LIVING ROOM	383.7 SF
KITCHEN	462.1 SF
ENTRY	145.9 SF
STAIR	135.3 SF
DEN/DINING	563.0 SF
ADU	408.1 SF
TOTAL GROUND FLOOR AREA	2098.2 SF



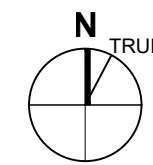
GROUND FLOOR AREA	1,690.1	3,928.6 SF COMBINED
UPPER FLOOR AREA	1,830.4	
TOTAL LIVING MAIN HOUSE	3,520.5 SF	
ADU GROUND FLOOR	408.1 SF	4,321.0 SF COMBINED
MAX. ALLOWED PER S.M. FAR	3,521.0 SF	
ADU ALLOWED PER S.M.	800.0 SF	
COVERED FRONT PORCH	30.5 SF	591.0 436.6 1,027.6 SF
GARAGE (BASEMENT LEVEL)	591.0	
OTHER (BASEMENT LEVEL)	436.6	
TOTAL BASEMENT AREA	1,027.6 SF	

3 UPPER FLOOR PLAN  
A2.3 3/16"=1'-0"



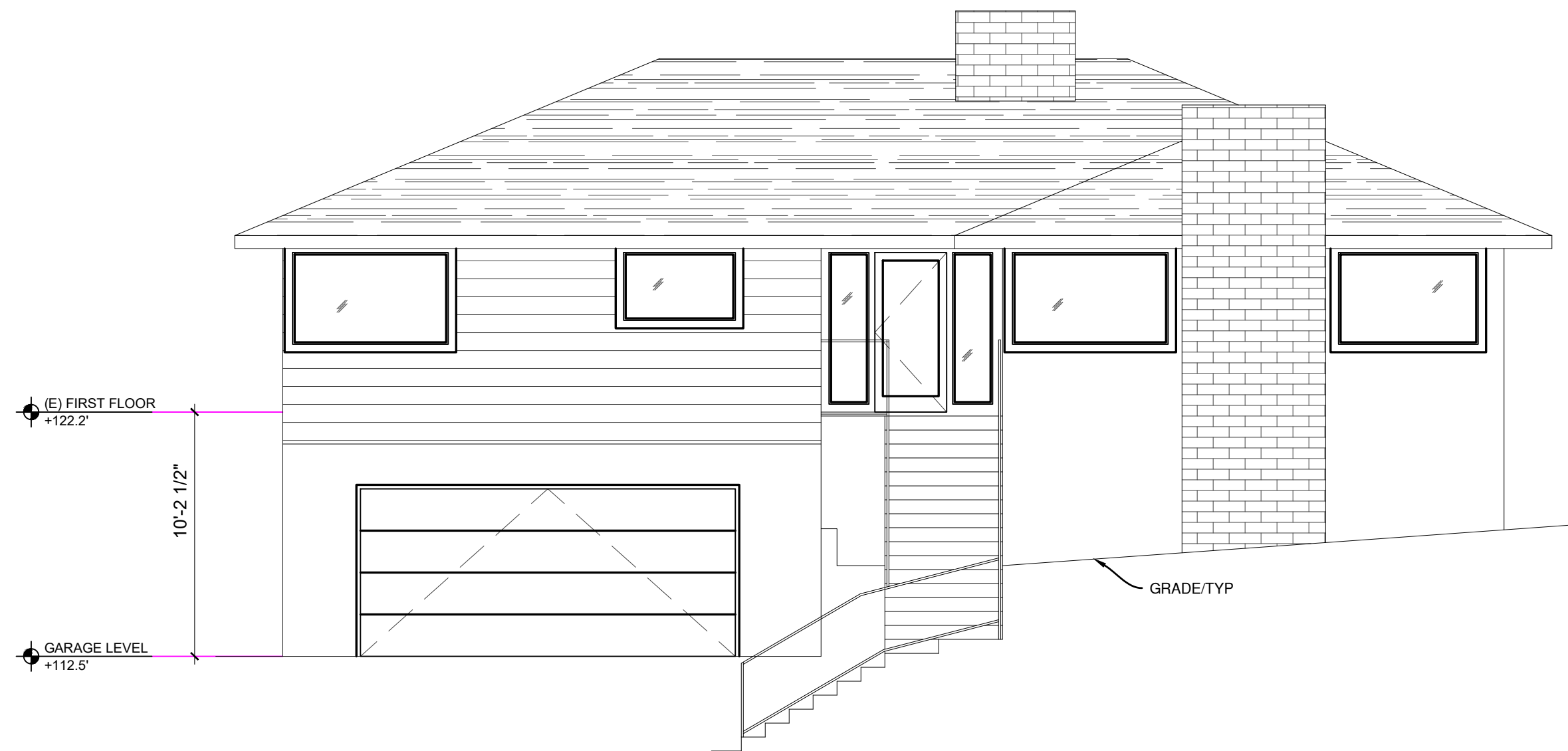
2 GROUND FLOOR PLAN  
A2.3 3/16"=1'-0"

1 BASEMENT AREA PLAN  
A2.3 3/16"=1'-0"

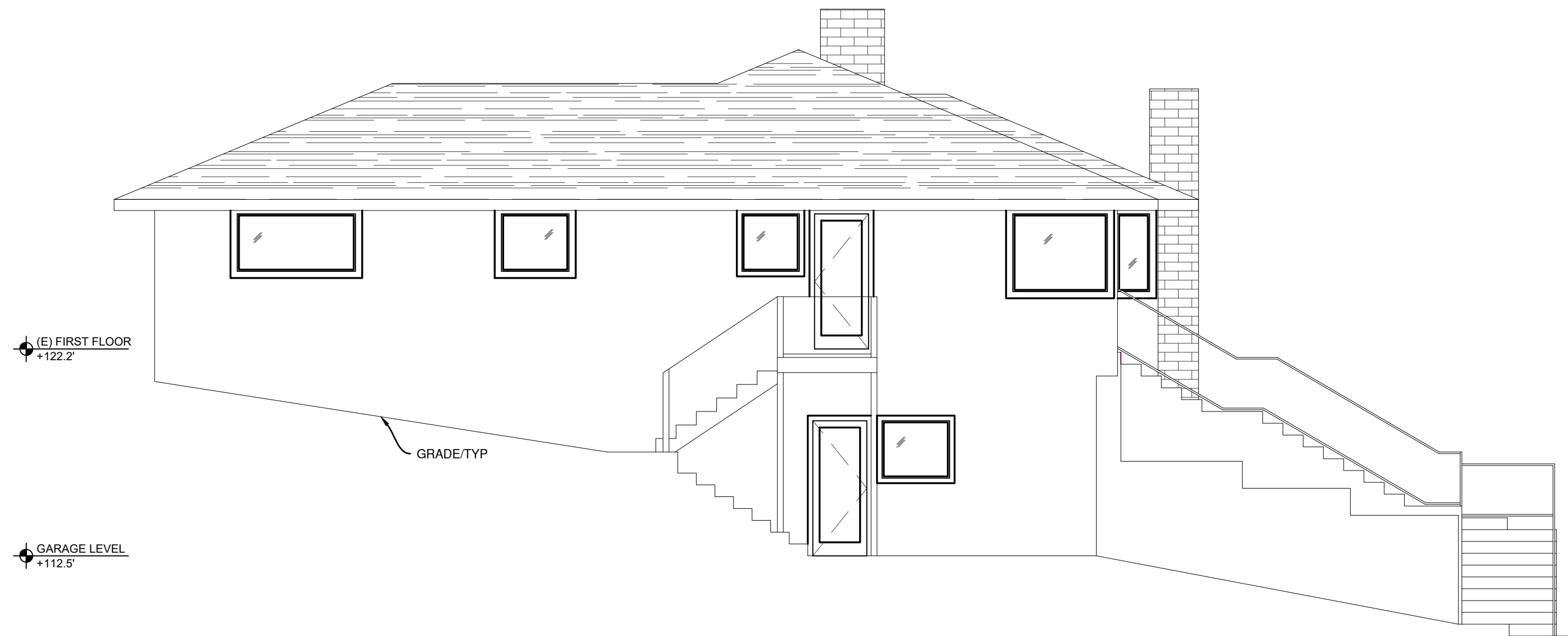


01	08.01.22	PLANNING

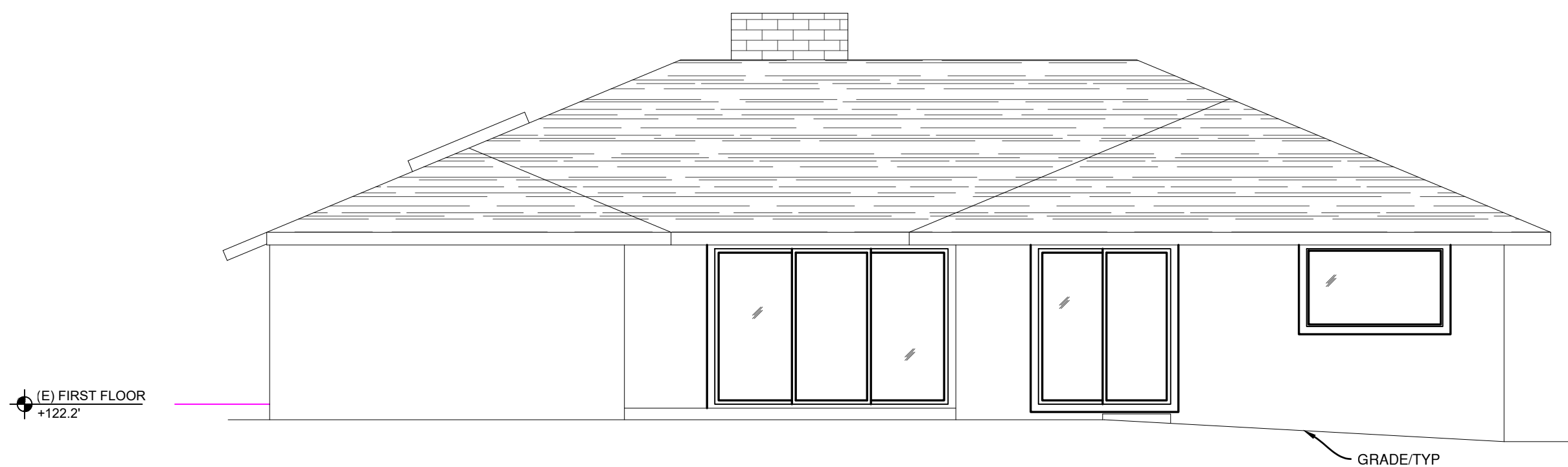




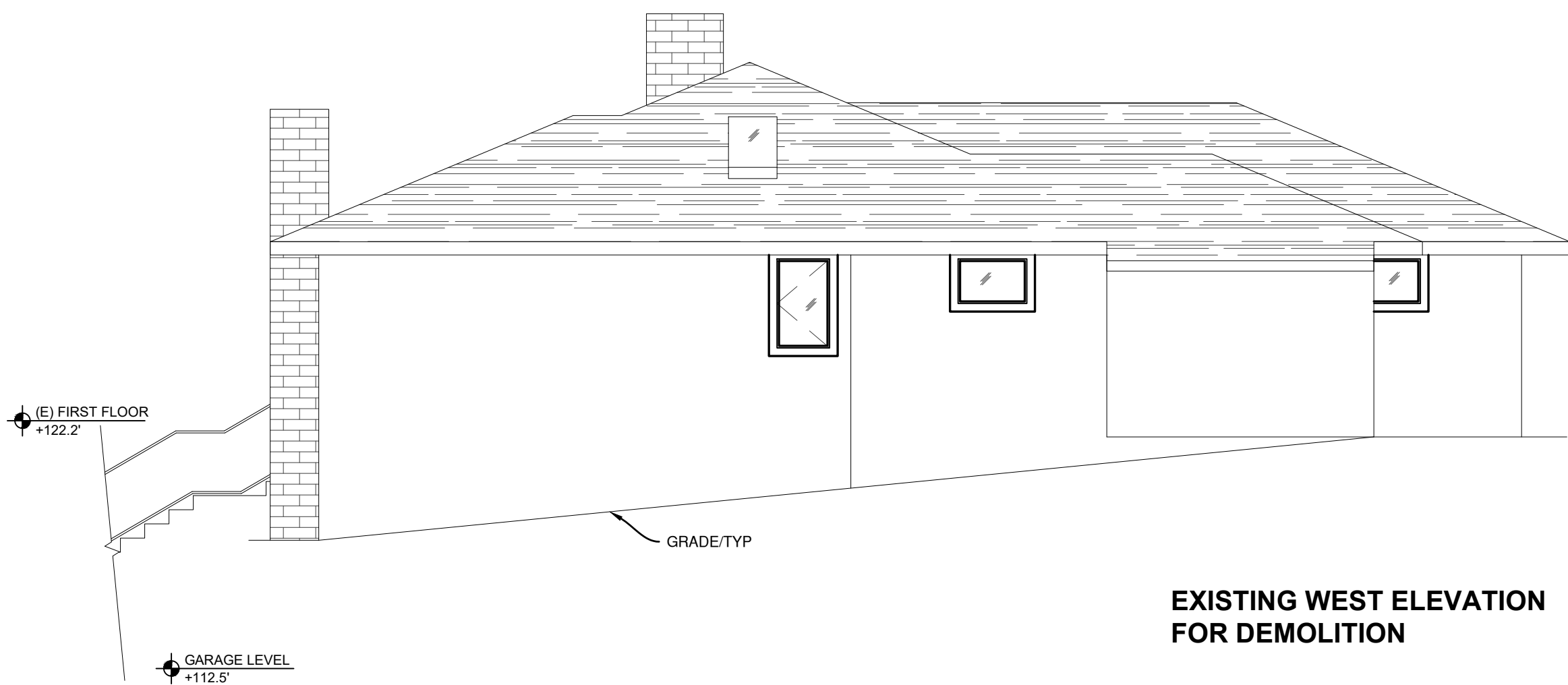
EXISTING NORTH ELEVATION  
FOR DEMOLITION



EXISTING EAST ELEVATION  
FOR DEMOLITION



EXISTING SOUTH ELEVATION  
FOR DEMOLITION



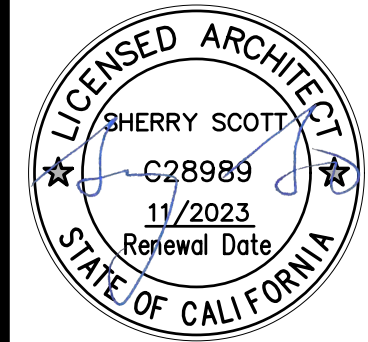
EXISTING WEST ELEVATION  
FOR DEMOLITION

EXISTING ELEVATIONS SHOWN FOR REFERENCE ONLY.  
FOR DEMOLITION

1  
A3.0  
3/16"=1'-0"

EXISTING FOR DEMOLITION

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ARCHITECT



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445 VIRGINIA AVENUE  
SAN MATEO, CALIFORNIA

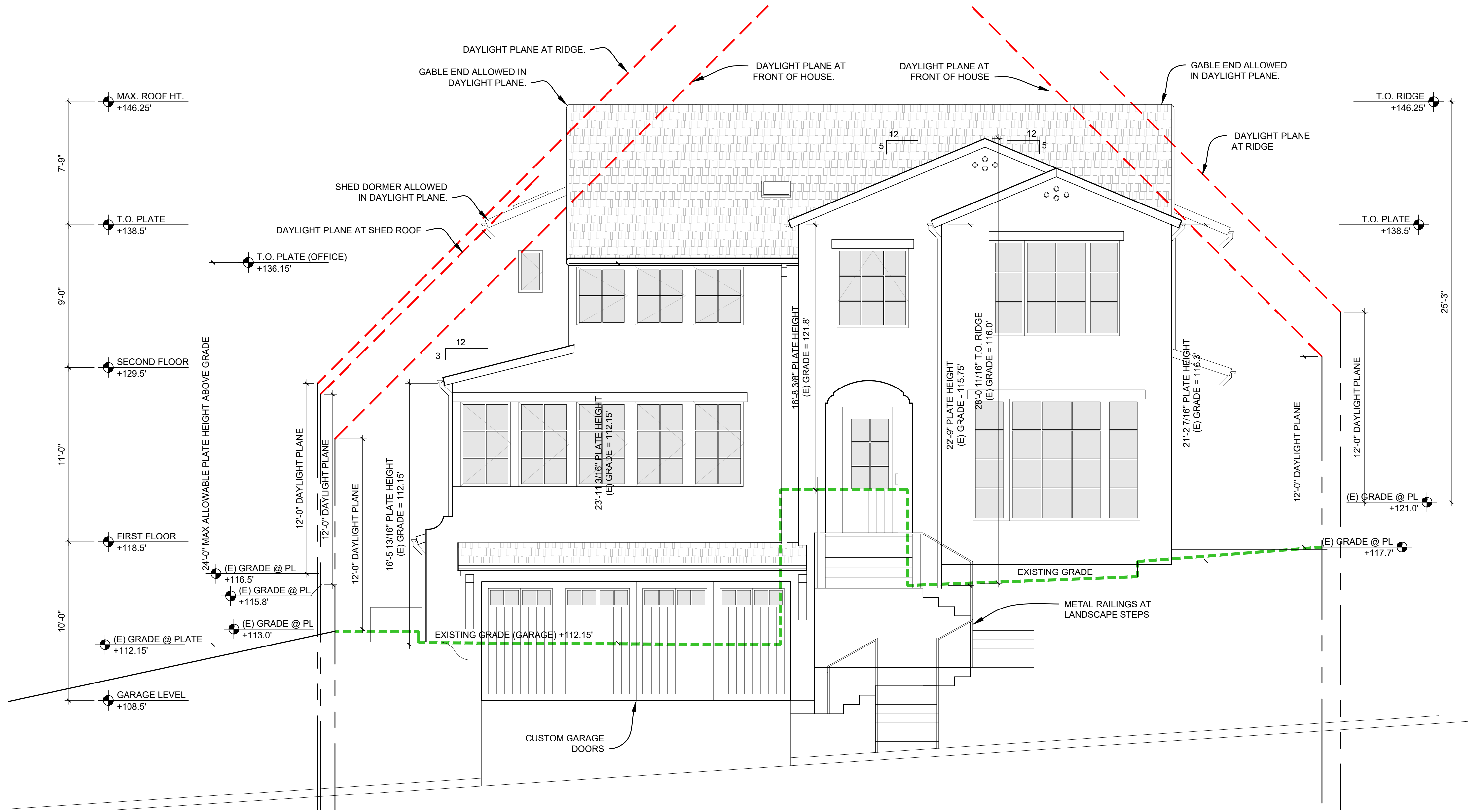
ISSUE HISTORY

01	08.01.22	PLANNING

EXISTING  
ELEVATIONS  
FOR DEMOLITION

A3.0  
CURRENT ISSUE  
08.01.2022





- ELEVATION NOTES:**
- ROOF COMPOSITION ASPHALT SHINGLES  
CERTAINTED, LANDMARK SOLARIS  
COLOR: BURNT SIENNA  
(CLASS A, COOL ROOF)
  - SIDING STUCCO  
SMOOTH FINISH, PAINTED  
COLOR: BENJAMIN MOORE, SWISS COFFEE
  - WINDOWS MARVIN SIGNATURE ULTIMATE WOOD  
ALUMINUM CLAD  
EXTERIOR COLOR: BRONZE
  - FASCIA STAINED WOOD (GUTTER AT EAVES)  
COLOR: BENJAMIN MOORE ARBORCOAT  
MIDSUMMER NIGHTS DREAM
  - WOOD ARBOR STAINED WOOD  
COLOR: BENJAMIN MOORE ARBORCOAT  
MIDSUMMER NIGHTS DREAM
  - CUSTOM WOOD ENTRY DOOR  
SOLID MAHOGANY WOOD WITH CLEAR GLASS  
VISION PANEL
  - CUSTOM METAL RAILINGS AT LANDSCAPE STEPS  
COLOR, BENJAMIN MOORE WROUGHT IRON
  - CARRIAGE STYLE CUSTOM GARAGE DOOR  
(SECTIONAL OVERHEAD OPERATION)  
CARRIAGE DOORS.

**1 ELEVATION - NORTH**  
A3.1 1/4"=1'-0"



**2 ELEVATION - SOUTH**  
A3.1 1/4"=1'-0"

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445 VIRGINIA AVENUE  
SAN MATEO, CALIFORNIA

ISSUE HISTORY

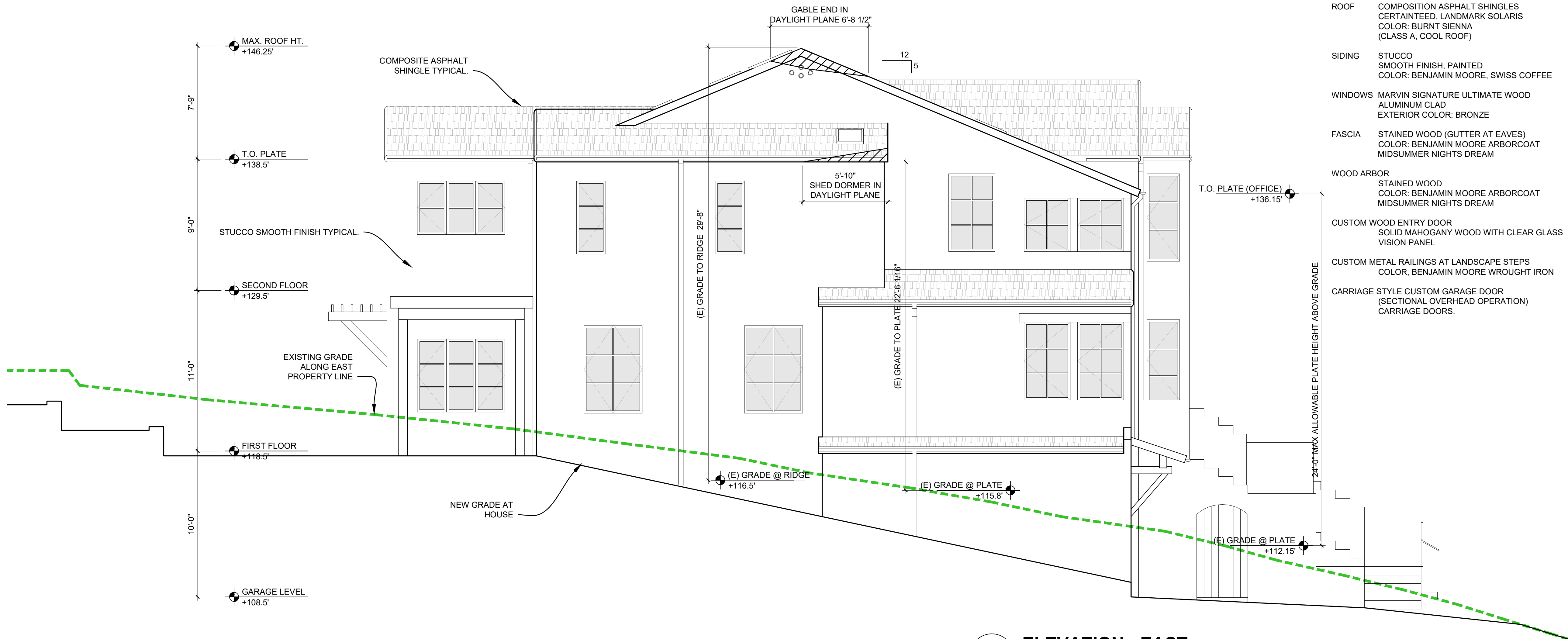
01	08.01.22	PLANNING

ELEVATIONS

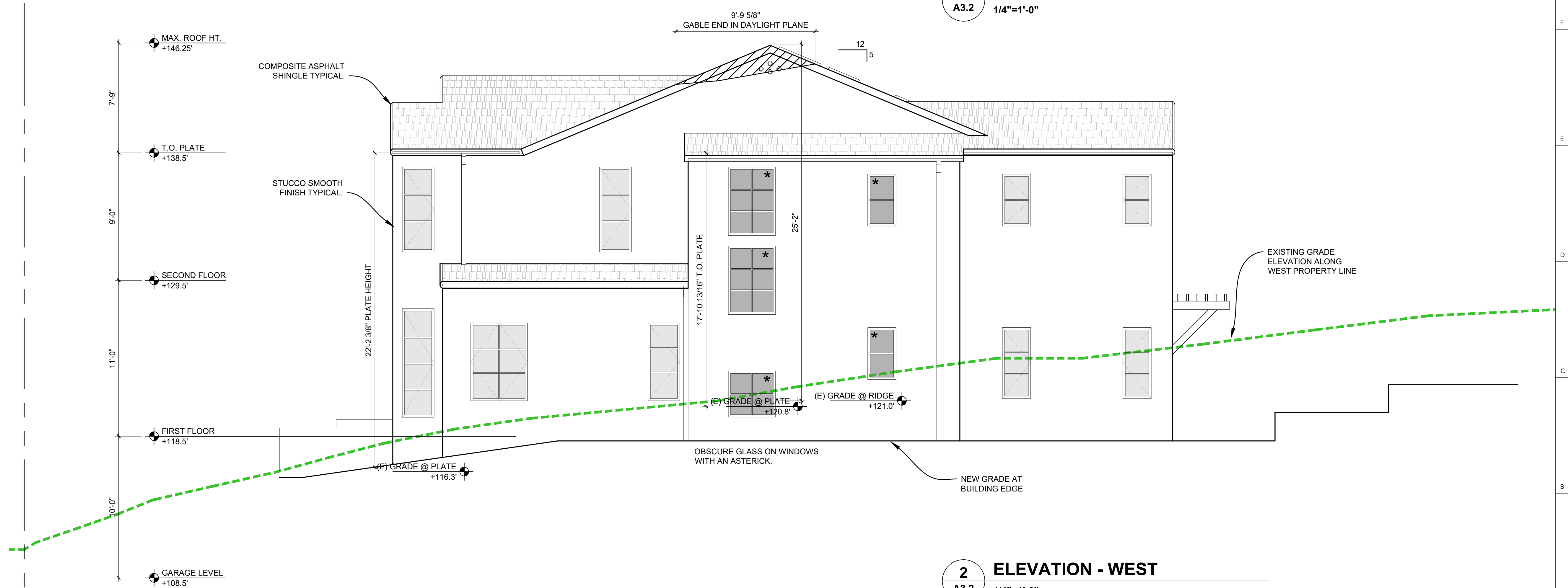
A3.1

CURRENT ISSUE  
08.01.2022





1  
A3.2  
ELEVATION - EAST  
1/4"=1'-0"

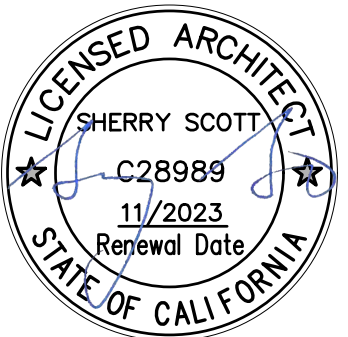


2  
A3.2  
ELEVATION - WEST  
1/4"=1'-0"

ELEVATION NOTES:

- ROOF COMPOSITION ASPHALT SHINGLES  
CERTAINTIED, LANDMARK SOLARIS  
COLOR: BURNT SIENNA  
(CLASS A, COOL ROOF)
- SIDING STUCCO  
SMOOTH FINISH, PAINTED  
COLOR: BENJAMIN MOORE, SWISS COFFEE
- WINDOWS MARVIN SIGNATURE ULTIMATE WOOD  
ALUMINUM CLAD  
EXTERIOR COLOR: BRONZE
- FASCIA STAINED WOOD (GUTTER AT EAVES)  
COLOR: BENJAMIN MOORE ARBORCOAT  
MIDSUMMER NIGHTS DREAM
- WOOD ARBOR STAINED WOOD  
COLOR: BENJAMIN MOORE ARBORCOAT  
MIDSUMMER NIGHTS DREAM
- CUSTOM WOOD ENTRY DOOR  
SOLID MAHOGANY WOOD WITH CLEAR GLASS  
VISION PANEL
- CUSTOM METAL RAILINGS AT LANDSCAPE STEPS  
COLOR, BENJAMIN MOORE WROUGHT IRON
- CARRIAGE STYLE CUSTOM GARAGE DOOR  
(SECTIONAL OVERHEAD OPERATION)  
CARRIAGE DOORS.

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ARCHITECT



445 VIRGINIA AVENUE  
SAN MATEO, CALIFORNIA

ISSUE HISTORY

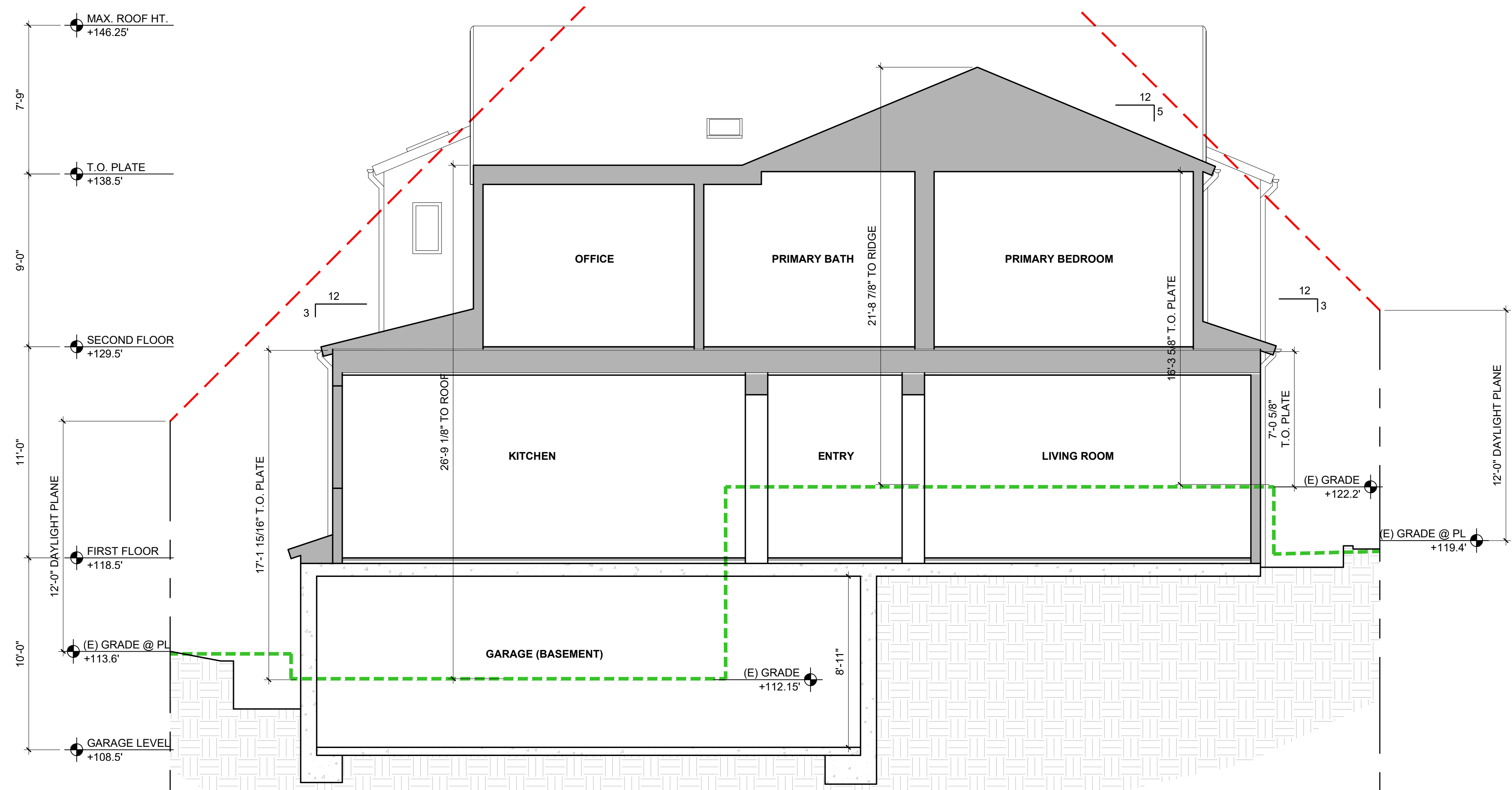
01	08.01.22	PLANNING

ELEVATIONS

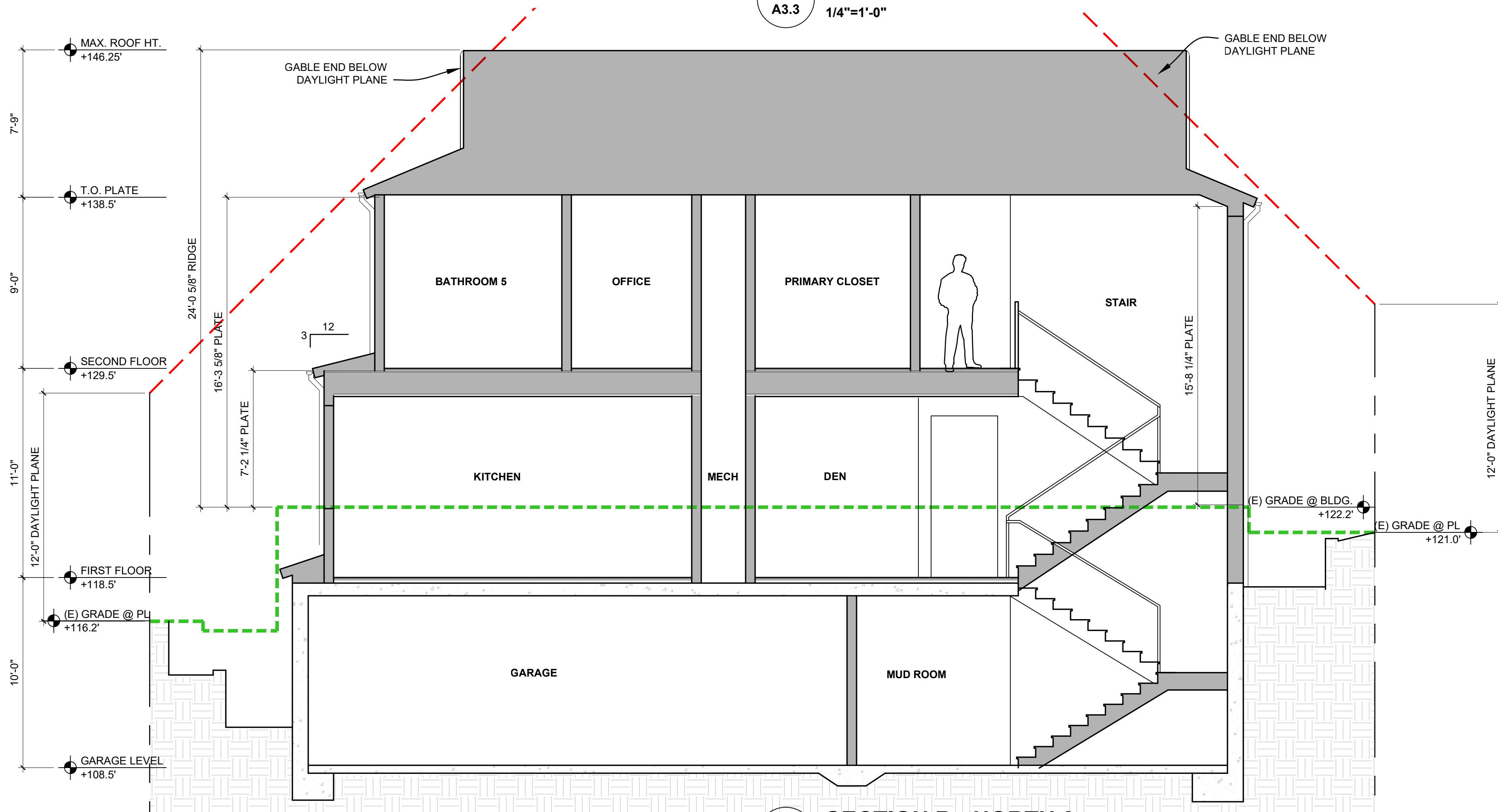
A3.2

CURRENT ISSUE  
08.01.2022



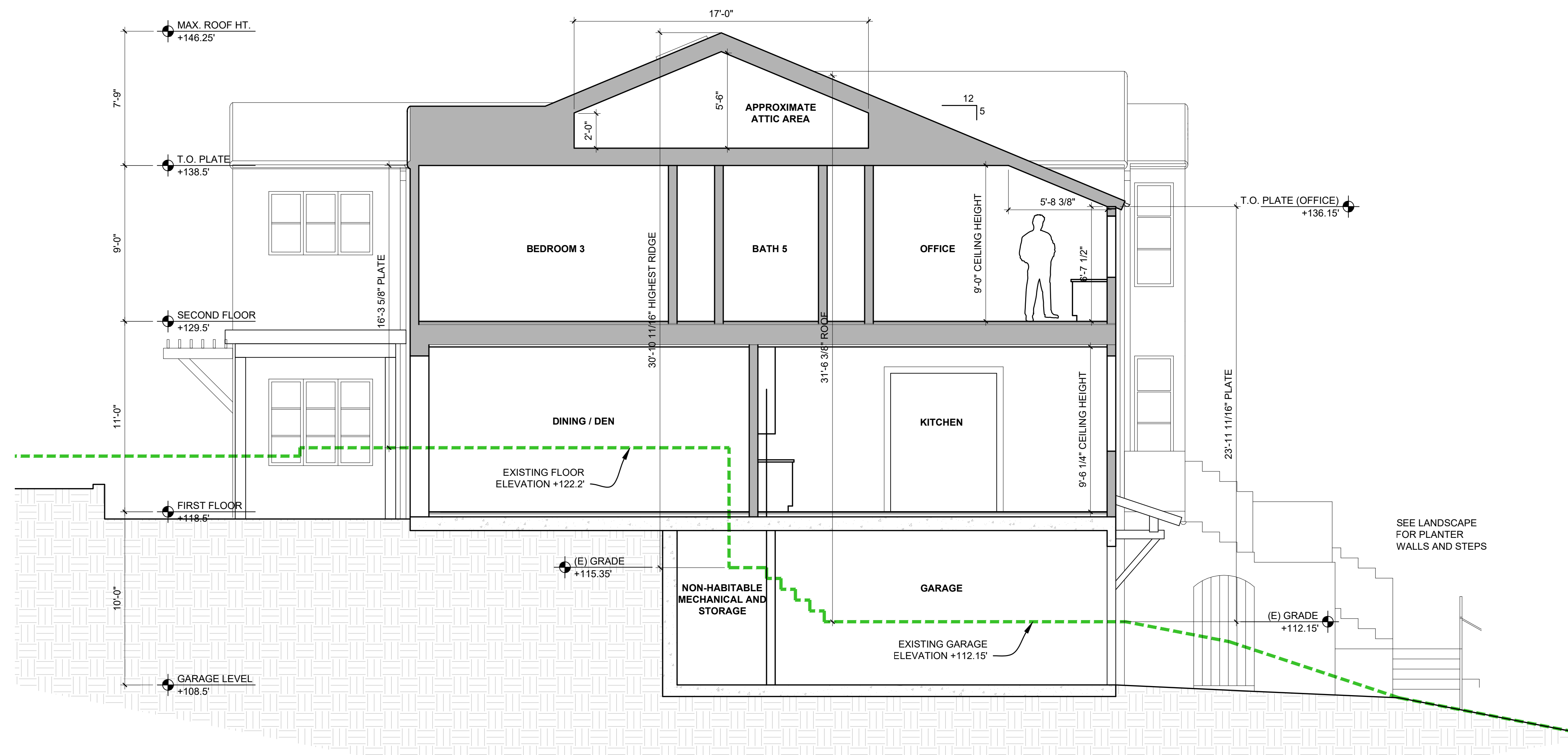


1 SECTION A - NORTH 1  
A3.3 1/4"=1'-0"

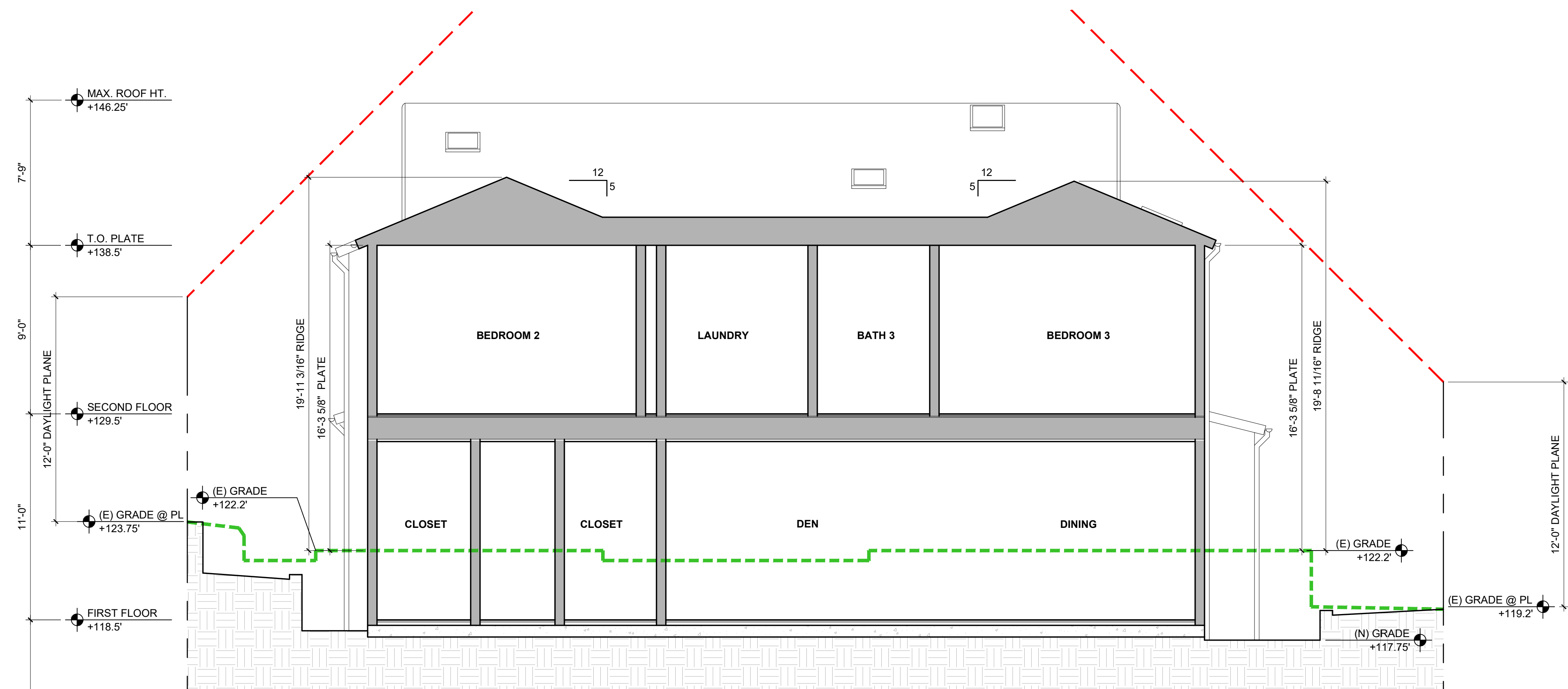


2 SECTION B - NORTH 2  
A3.3 1/4"=1'-0"



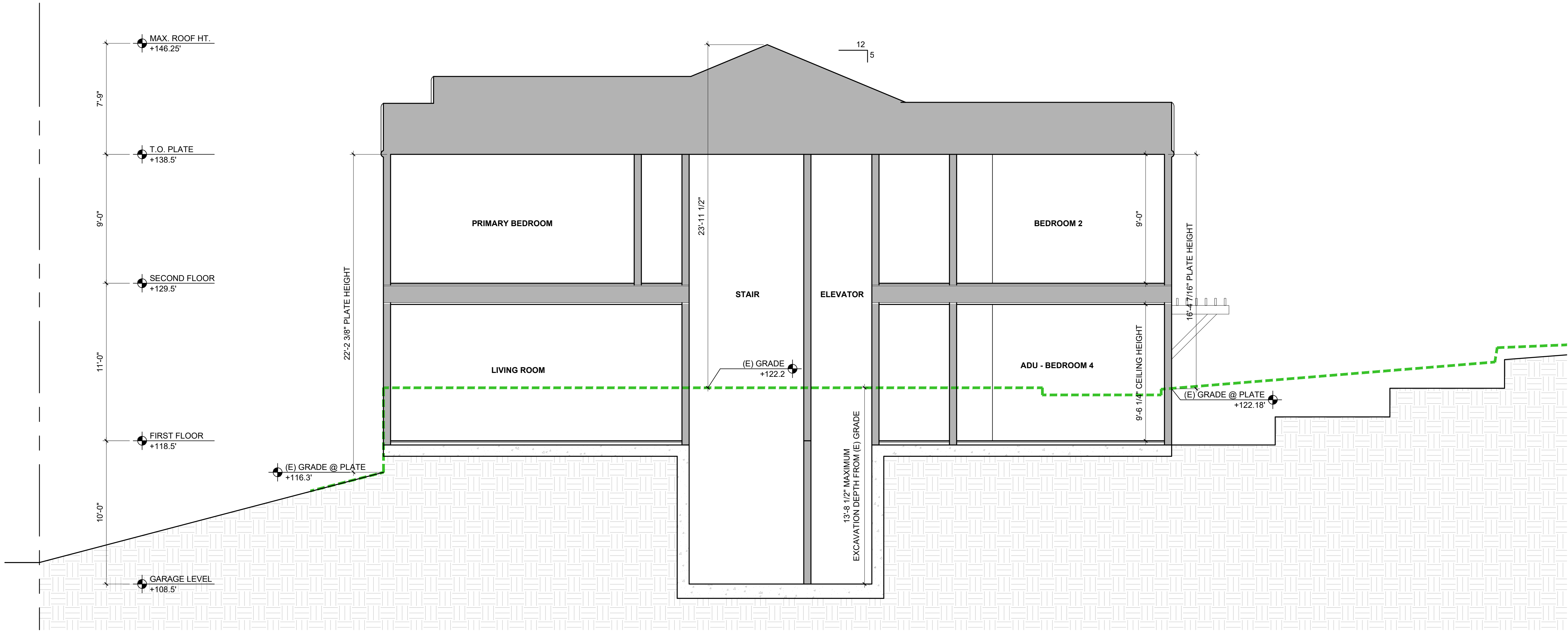


**2 SECTION D - EAST**  
A3.4 1/4"=1'-0"



**1** **SECTION C - SOUTH**  
A3.4 1/4"=1'-0"





1 SECTION E - WEST  
A3.5 1/4"=1'-0"

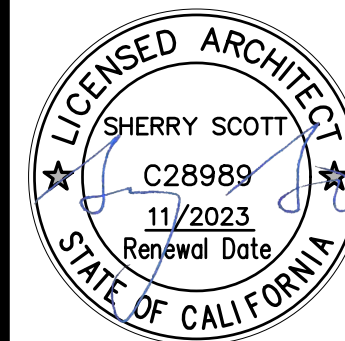




1  
A3.6

**COLOR ELEVATIONS**  
3/16"=1'-0"

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445 VIRGINIA AVENUE  
SAN MATEO, CALIFORNIA

ISSUE HISTORY

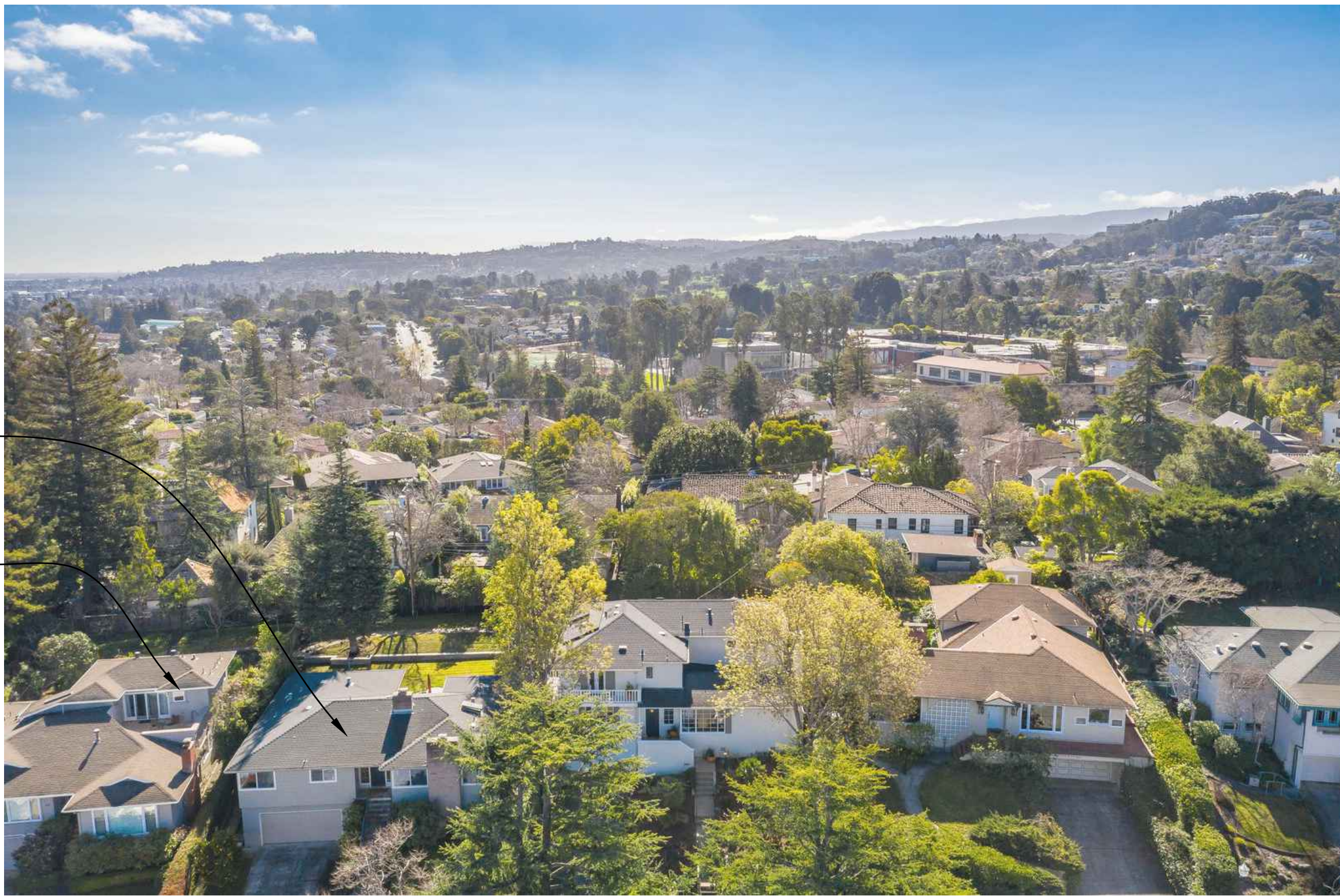
01	08.01.22	PLANNING
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ELEVATIONS

A3.6

CURRENT ISSUE  
08.01.2022





445 - 451 VIRGINIA AVENUE

451 VIRGINIA AVENUE. TWO STORIES OVER GARAGE

451 VIRGINIA AVENUE (NEIGHBOR TO THE WEST) 2 STORIES OVER GARAGE

433, 445 AND 451 VIRGINIA AVENUE. EXISTING NEIGHBORS ARE TWO STORIES TALL.







ULTIMATE CASEMENT WINDOWS BY MARVIN. CUSTOM SIZE AND STYLE AS SHOWN ON ELEVATION DRAWINGS.



DETAIL OF MARVIN ULTIMATE SIGNATURE SERIES WINDOWS. WOOD INTERIOR WITH ALUMINUM CLAD EXTERIOR.



ARBOR AT SOUTH FACADE. REFER TO ELEVATION DRAWINGS.



LIFT SLIDE PATIO DOORS BY MARVIN. CUSTOM SIZE AND STYLE AS SHOWN ON ELEVATION DRAWINGS.



COLORED, SCORED CONCRETE DRIVEWAY. COLOR COACHELLA SAND. (TBD)



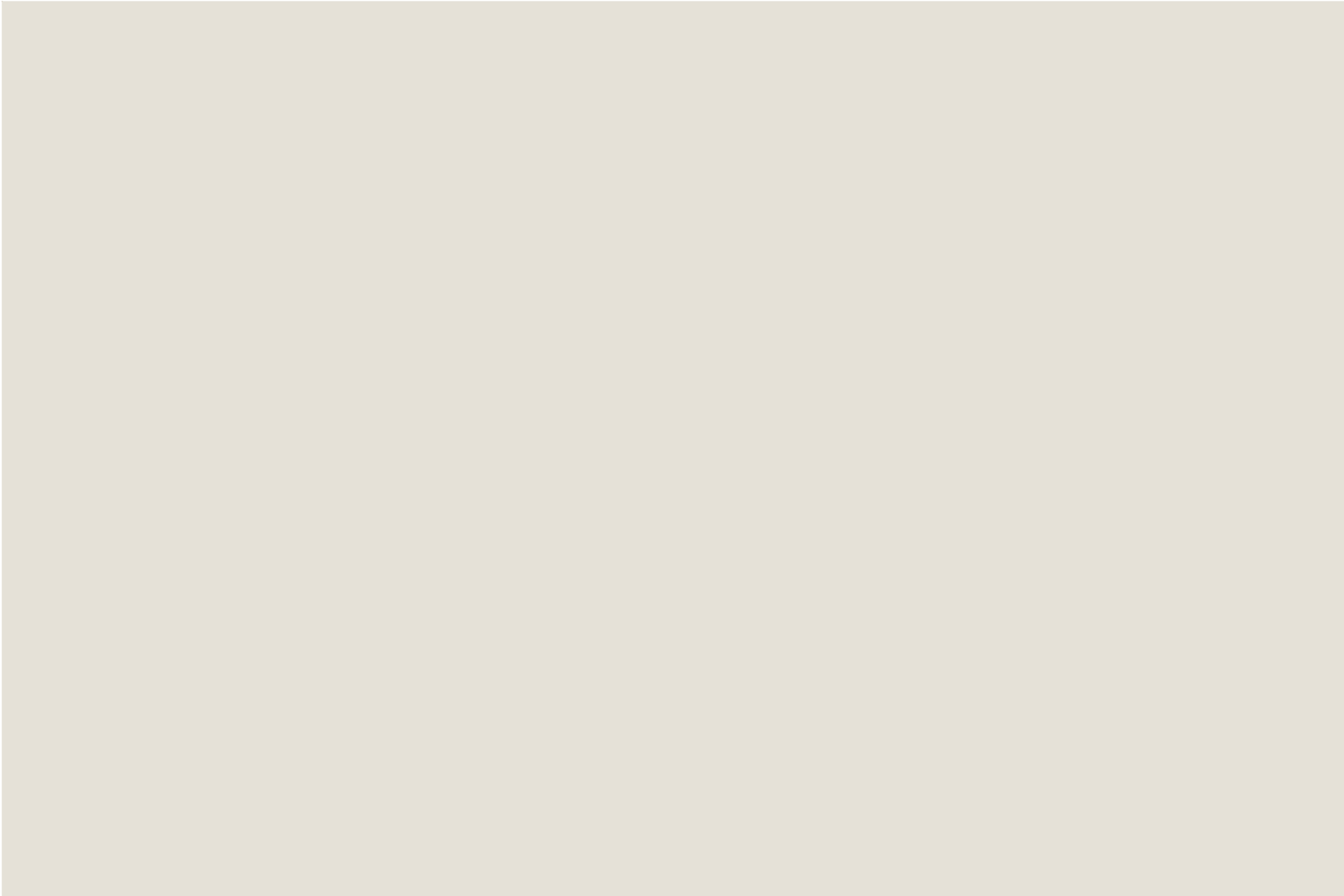
EXTERIOR STAIR RAILINGS. COLOR: WROUGHT IRON BY BENJAMIN MOORE



COMPOSITION ROOF SHINGLES BY CERTAINTEED. LANDMARK SOLARIS - COLOR: BURNT SIENNA



FASCIA SOLID STAIN FINISH (ARBORCOAT) BY BENJAMIN MOORE - COLOR: MIDSUMMER NIGHT 2134-20



STUCCO PAINT FINISH BY BENJAMIN MOORE - COLOR: SWISS COFFEE OC-45



CUSTOM GARAGE DOORS. SEE ELEVATIONS

SHERRY L SCOTT  
ARCHITECT

C28989

11/2023

Referral Date

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LICENSED ARCHITECT  
STATE OF CALIFORNIA

445 VIRGINIA AVENUE  
SAN MATEO, CALIFORNIA

ISSUE HISTORY

	01	08.01.22	PLANNING

MATERIAL  
AND COLORS

A3.8

CURRENT ISSUE

08.01.2022

A

B

C

D

E

F

G

H

J

K

L

16

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13

12

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1